



CERTA PROPERTY INSPECTIONS

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<http://Certainspections.ca/>



PROPERTY REPORT

345 Demo Street
Calgary, AB T2N 3C7

Our Valued Clients

JULY 24, 2023



Inspector

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1: INSPECTION DETAILS

Information

Your Review Helps Certa Immeasurably

Thank you again for allowing our Team to help you in your home buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!



Certa's Mission, Vision, and Values

Mission Statement:

To provide an exemplary home service experience while improving the economic wellbeing and quality of life for all stakeholders.

Vision Statement:

To be Calgary's premiere home inspections company by July 1st, 2028.

Values:

Client Obsession.

Long Term Mindset.

Operational Excellence.

Certa Services and Team Members

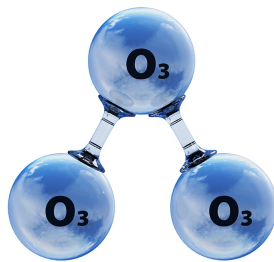
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

Additional Services Offered by Certa:

Sewer Camera Inspections: We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



(Ozone) Odour Removal: Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale "aged" home smells.



WETT Inspections: Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



Air Quality, Mold & Asbestos Testing: Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.



Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.



City of Calgary Permit URL: Calgary Permits

The following link will indicate all permits for dwellings in the city of Calgary.

<https://maps.calgary.ca/myProperty/>

2: EXTERIOR

Information

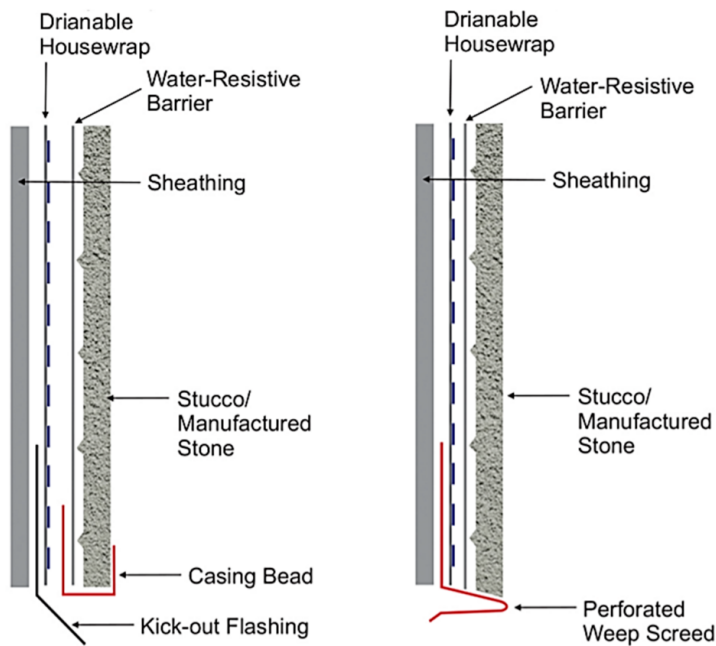
Gas Meter: Gas Meter

If the building occupants ever detect the smell of natural gas, they should vacate the premises immediately and call the proper authorities outside of the structure.

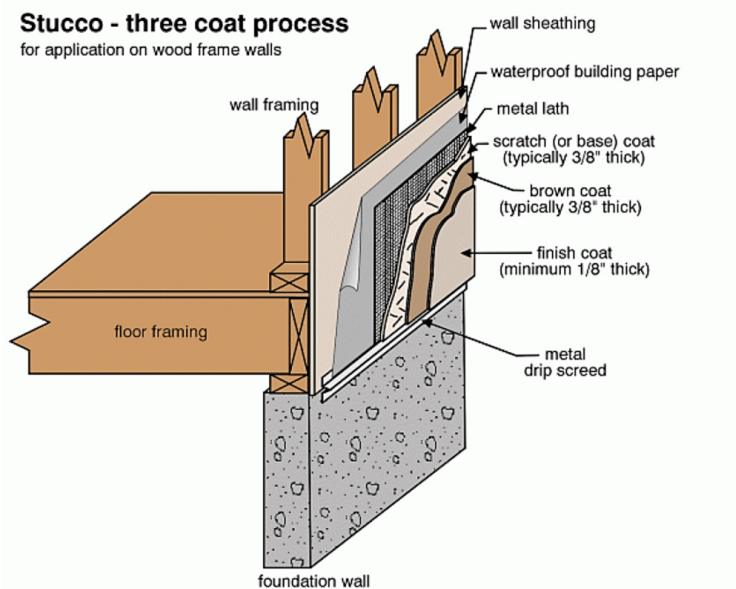


Siding : Stucco Detail

This schematic shows a typical installation for stucco siding and may not represent the exact installation found at the structure. This is for informational purposes only.



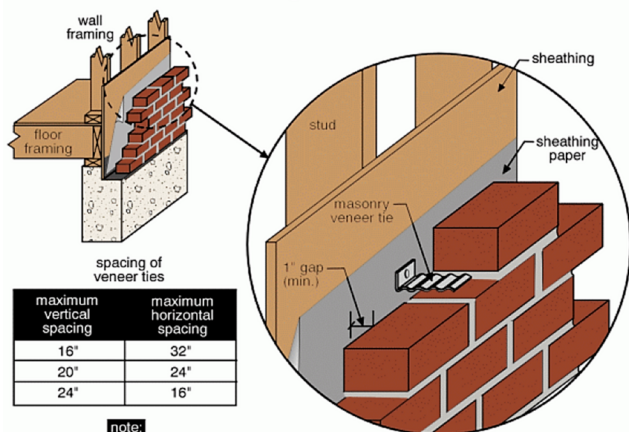
Stucco - three coat process for application on wood frame walls



Siding : Brick Veneer Detail

This schematic shows a typical installation for brick veneer siding and may not represent the exact installation found at the structure. This is for informational purposes only.

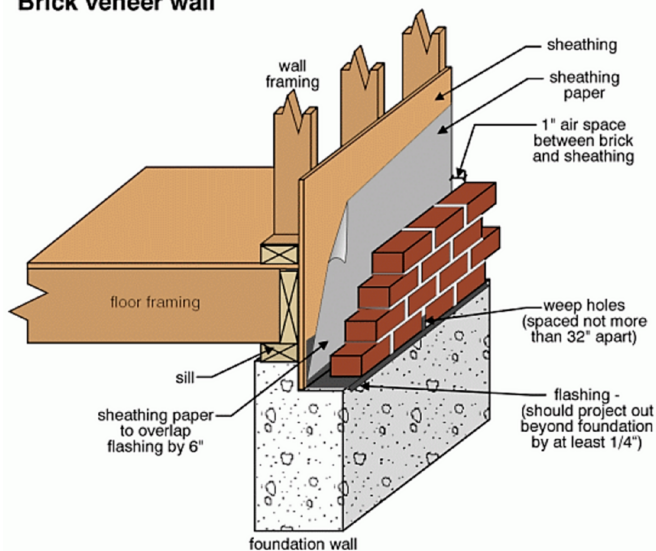
Brick veneer wall - masonry tie detail



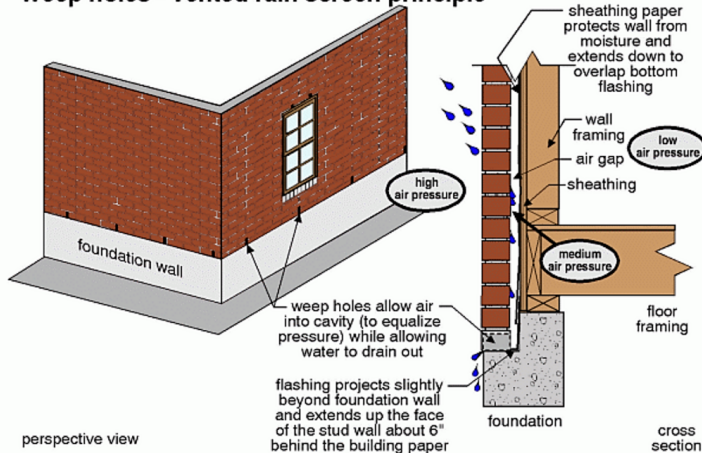
note:

veneer ties are nailed into studs

Brick veneer wall

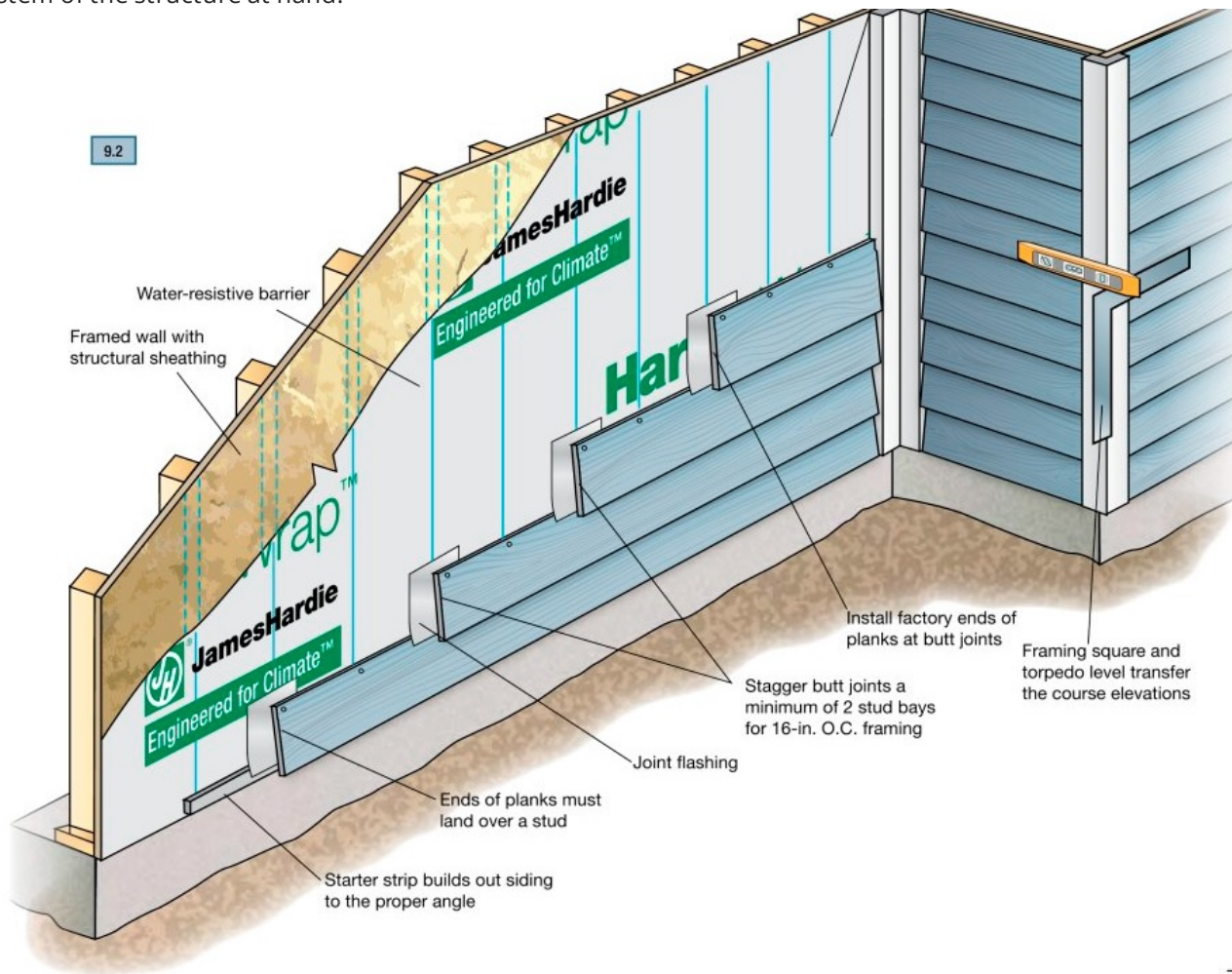


Weep holes - vented rain screen principle



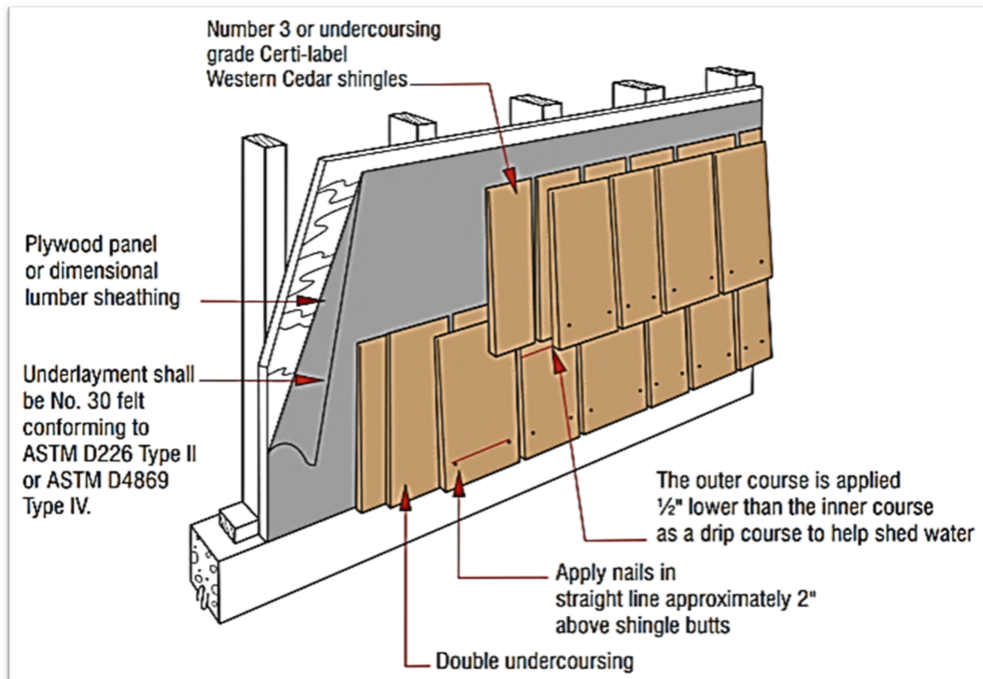
Siding : Hardieboard

This is a schematic of Hardieboard installation. It is meant for informational purposes only and may not reflect the full system of the structure at hand.



Siding : Wood Shakes / Shingles

The following is a general installation schematic for wood shingles and may not represent exactly the installation found on the structure. It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure. Heat sources such as bbqs should be kept away from siding to mitigate the occurrence of a fire.



Limitations

Balcony(ies)

LIMITED OR NO ACCESS

Due to the limited access, the inspector was unable to inspect below the structure to inspect the construction.



Hose Bib

NOT TESTED

One or more hose bibs were not tested.



Deficiencies

2.5.1 Curb Stop

DAMAGE

One or more curb stops were damaged and should be repaired or replaced.

Recommendation

Contact a qualified professional.



2.9.1 Driveway(s)

DRIVEWAY CRACKS

Cracking and or spalling was found at the driveway. A masonry sealant for concrete driveways, such as Sikaflex, can be used which may help prevent further expansion of the cracks by preventing water penetration and further cracking when it freezes in colder temperatures. For asphalt driveways, it is recommended to seal openings with an approved sealant.

Recommendation

Contact a qualified driveway contractor.



2.13.1 Fence

LEANING

One or more areas of the fence line were noted to be leaning. It is recommended that a qualified contractor repairs this.

Recommendation

Contact a qualified carpenter.



2.14.1 Flashing & Trim

FLASHING MISSING

It is recommended to have flashing installed to prevent weather and vermin intrusion.

Recommendation

Contact a qualified siding specialist.





2.15.1 Foundation

CRACK(S) IN FOUNDATION - VERTICAL

One or more cracks in the foundation walls were found. Cracks should be monitored for water penetration and growth. It is recommended that all cracks and fissures be sealed to prevent water migration. An epoxy resin injection should be used on clean dry cracks while a polyurethane foam injection can be used in active and or dirty cracks. It should be noted that the epoxy injection provides structural bearing while the polyurethane foam does not.

Crack repair - epoxy and polyurethane injection

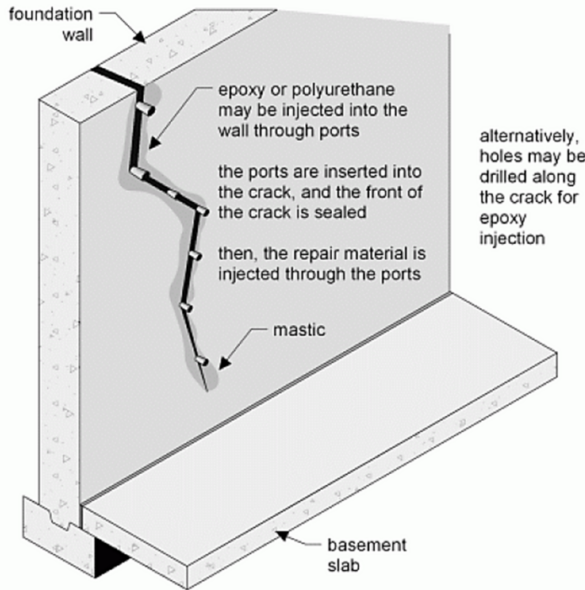
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



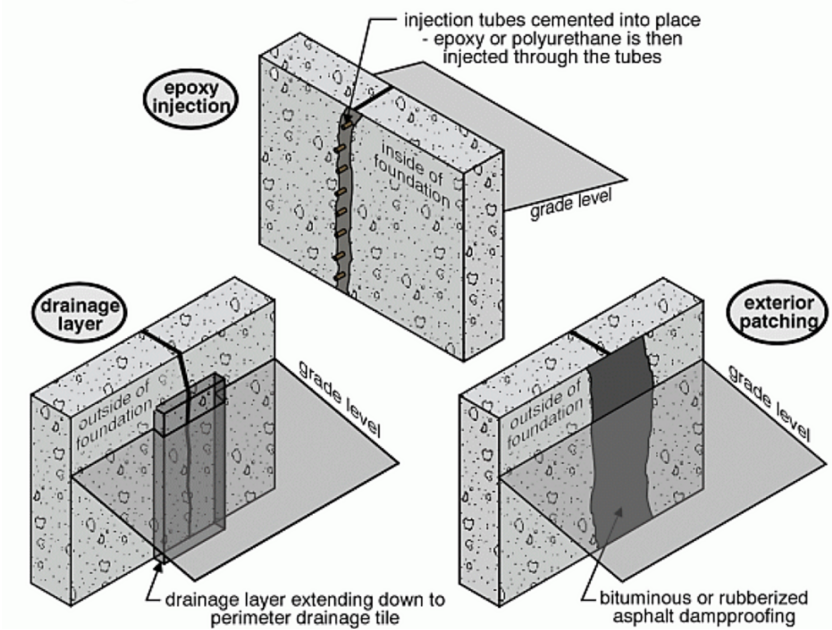
alternatively, holes may be drilled along the crack for epoxy injection



Recommendation

Contact a foundation contractor.

Patching cracks



2.19.1 GFCI

NO GFCI

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



2.20.1 Grading

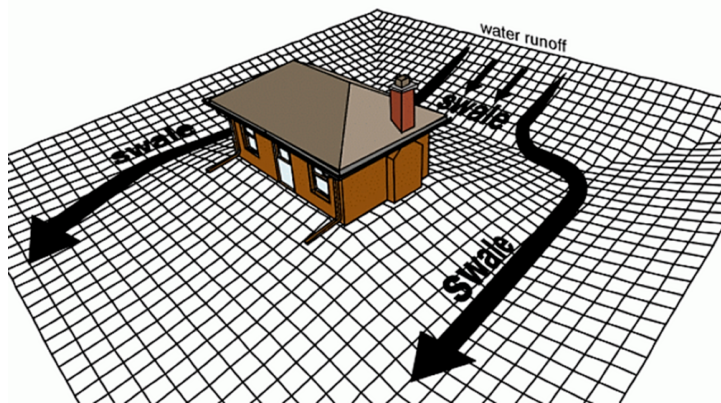
POOR GRADING

It is recommended that the grading around the structure be positive; meaning that it should slope away. This helps prevent water penetration into the structure. Fill areas that have settled next to the structure with clay—not topsoil— with a positive slope away from the structure (10 per cent is recommended). It should be noted that rock, gravel, mulch, etc. drains water down the exterior wall and not away. It is unknown what the grading is below these materials.

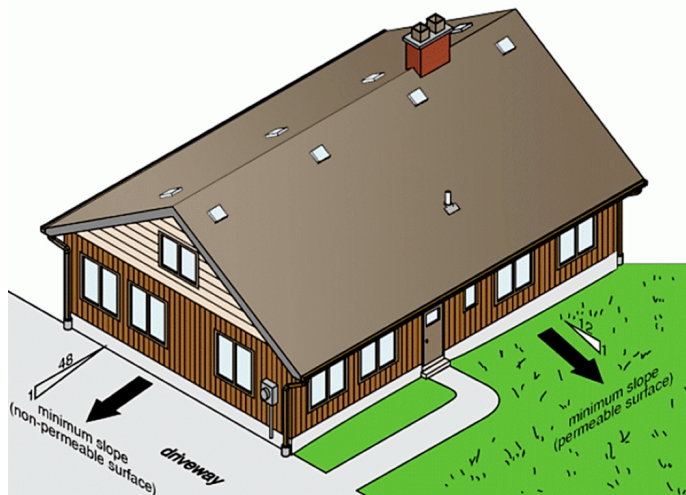
Here is a helpful article discussing negative grading.

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



Recommended grading slopes



2.24.1 Conduit

DISCONNECTED / DAMAGED

One or more conduits were damaged / disconnected. This should be corrected by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.

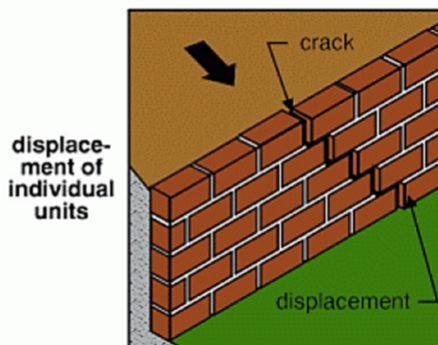
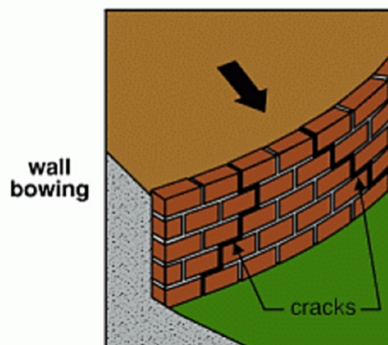
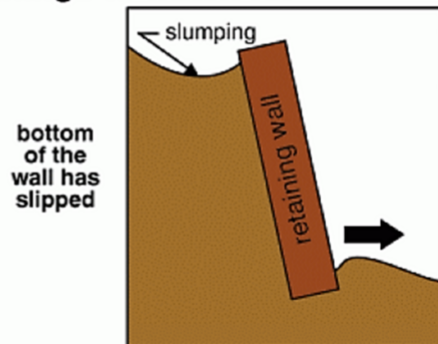
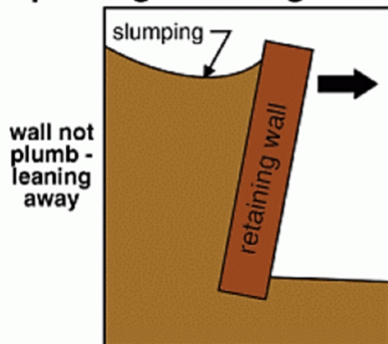


2.28.1 Retaining Walls

RETAINING WALL - CRACK(S)

One or more cracks were noted in the retaining wall. It is recommended these be repaired by a qualified contractor.

Inspecting retaining walls - things to watch for





2.29.1 Service Entrance Conductors

WEATHERHOOD DAMAGE

The following weatherhood is damaged and should be repaired or replaced.

Recommendation

Contact a qualified professional.



2.30.1 Siding

CRACKS IN STUCCO

Some cracks in the stucco were found at the exterior walls of the structure. All cracks and openings should be sealed and monitored for further expansion as they may indicate an ongoing issue.

Recommendation

Contact a qualified siding specialist.



2.30.2 Siding

DAMAGE

Damage was noted at the siding. It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure.

Recommendation

Contact a qualified siding specialist.



2.30.3 Siding

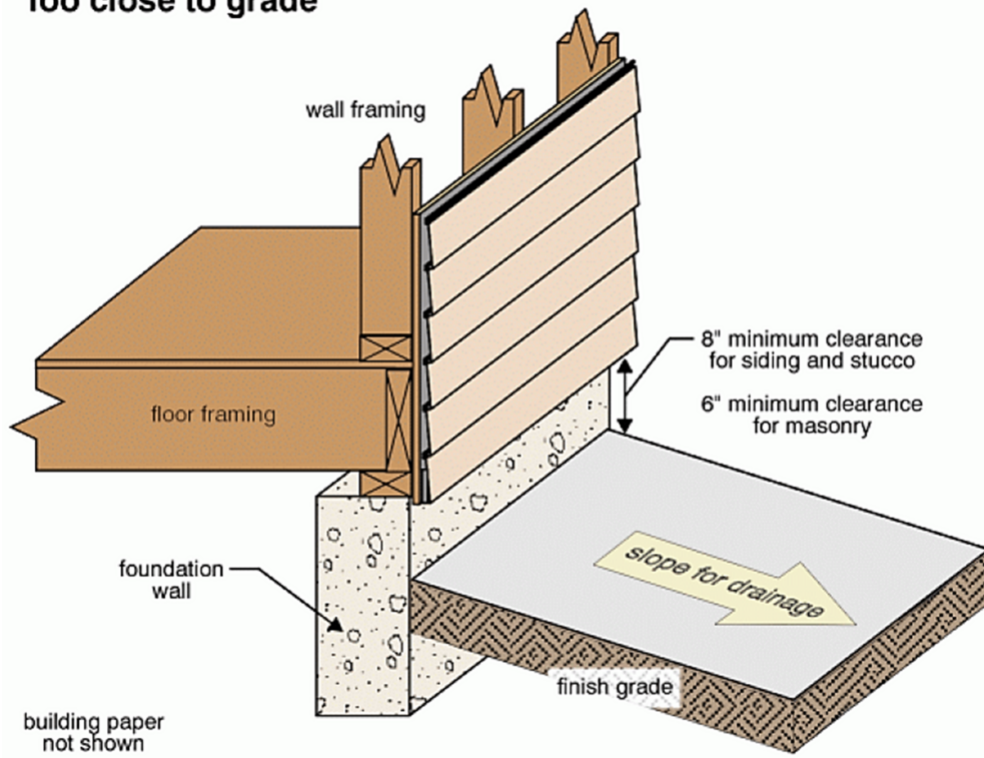
GROUND CLEARANCE

It is recommended to have a minimum 6" clearance between siding and the grading of the structure to allow the air to wick away any water on the exterior wall. Siding that is adversely affected by moisture requires 8" clearance from grade. In addition, this helps mitigate damaging the siding from freezing water.

Recommendation

Contact a qualified siding specialist.

Too close to grade



2.30.4 Siding

INCOMPLETE SIDING

Some areas of siding were missing and should be installed to keep the weather and vermin out.

Recommendation

Contact a qualified siding specialist.



2.30.5 Siding

MISSING FLASHING - SUBSTRATE

It is recommended to install drip edge flashing when there is a change in cladding substrate.

Recommendation

Contact a qualified siding specialist.



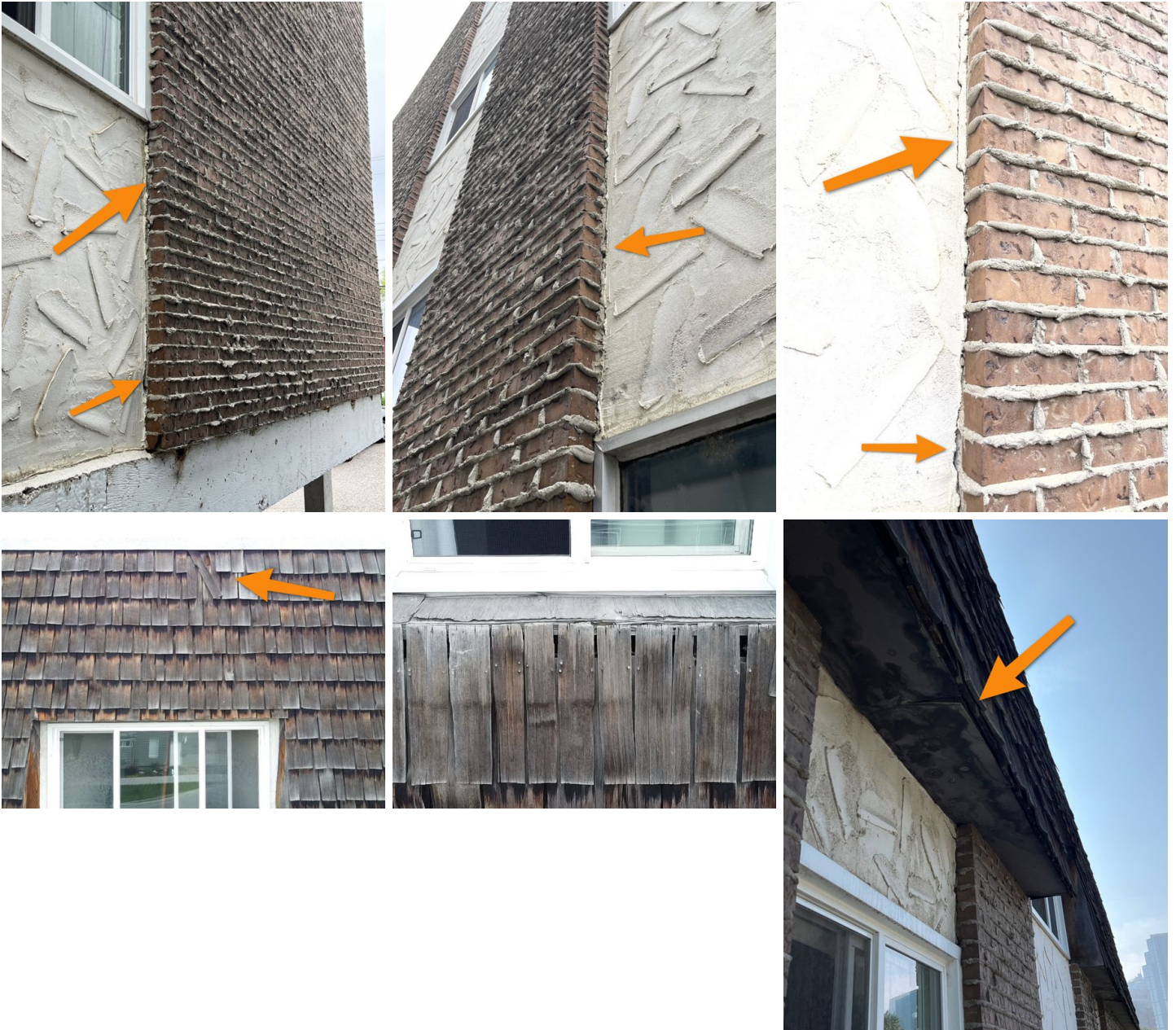
2.30.6 Siding

UNSEALED OPENINGS

It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure.

Recommendation

Contact a qualified siding specialist.



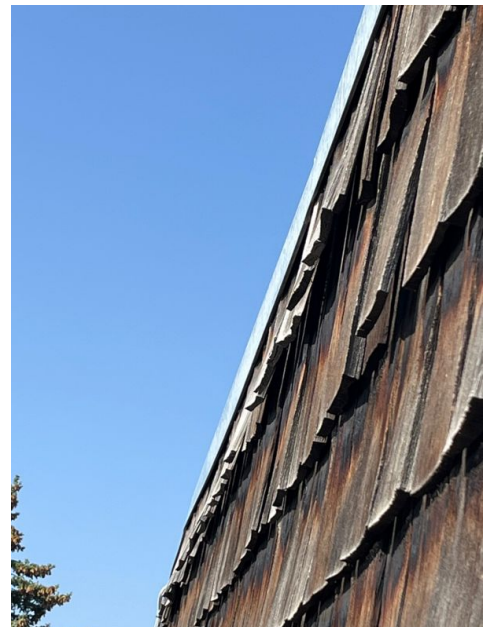
2.30.7 Siding

CURLING

Curling is a sign of ageing for wood products. It is recommended to budget for future replacements.

Recommendation

Contact a qualified professional.



2.33.1 Steps

CRACKS / SPALLING IN STAIRS

The entrance steps were given a brief inspection. Typical cracks and spalling were noted. It is recommended these areas be repaired to prevent further deterioration.

Recommendation

Contact a qualified concrete contractor.



2.33.2 Steps

HANDRAIL LOOSE

One or more handrails were noted to be loose and should be better secured by a qualified professional.

Recommendation

Contact a qualified carpenter.



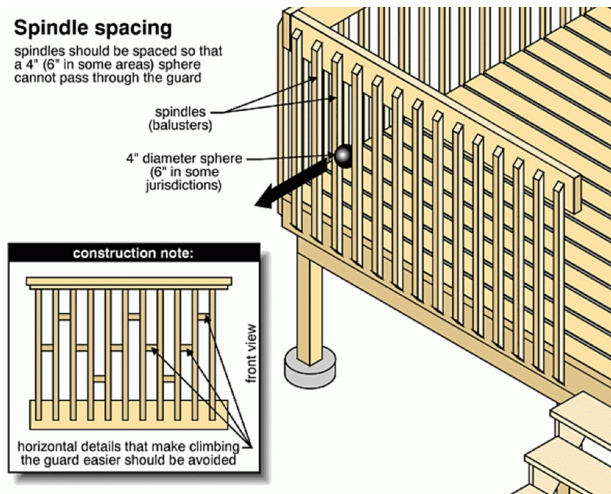
2.33.3 Steps

HANDRAILS RECOMMENDED

It is recommended to install handrails and balusters to help prevent falling incidents.

Recommendation

Contact a qualified carpenter.



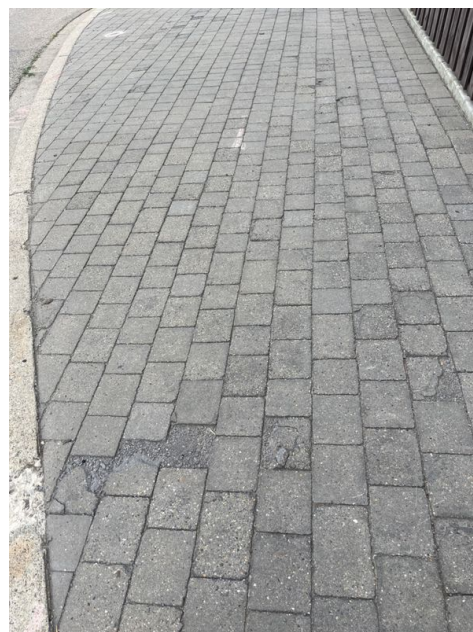
2.39.1 Walkway(s)

CRACKS / DAMAGE

Typical cracking and or spalling was found at the walkway. A masonry sealant, such as Sikaflex, can be used which may help prevent further expansion of the cracks by preventing water penetration and further cracking when it freezes in colder temperatures.

Recommendation

Contact a qualified landscaping contractor



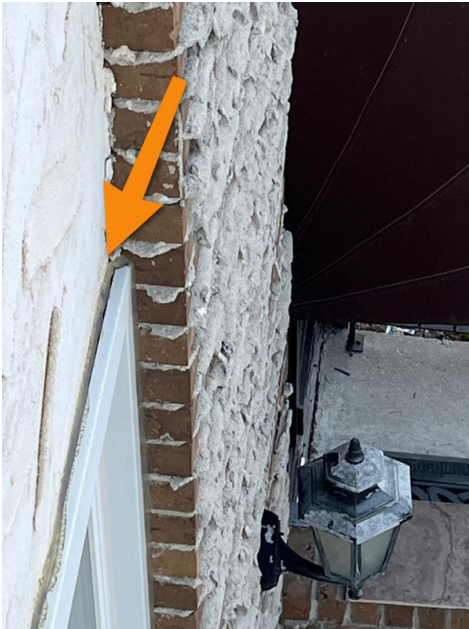
2.40.1 Windows

DETERIORATED CAULKING

Various areas of the exterior were noted to have missing or deteriorated caulking. These areas should have new caulking installed to keep the weather out.

Recommendation

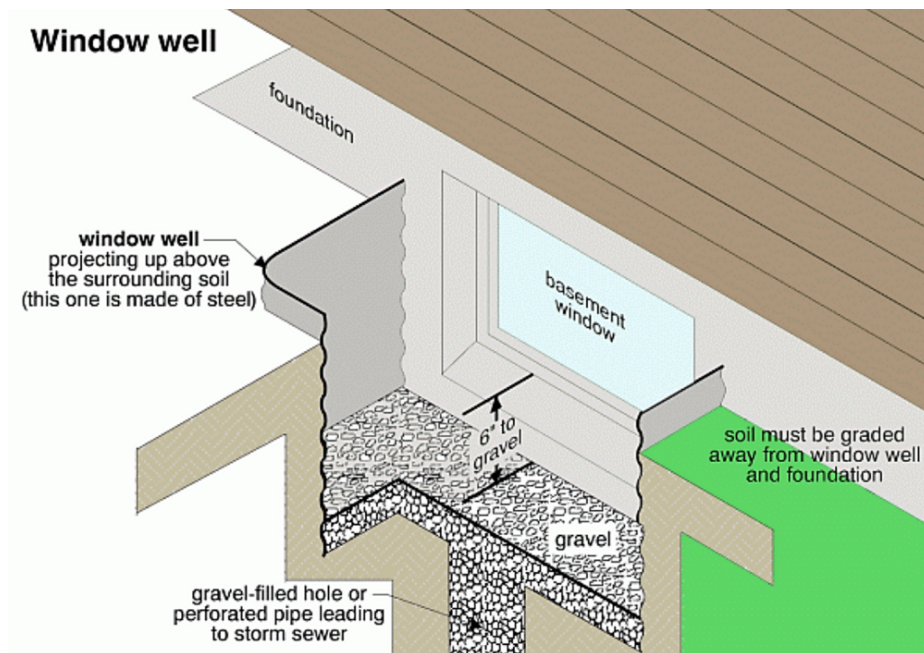
Contact a handyman or DIY project



2.40.2 Windows

WINDOW WELLS MISSING

It is recommended to have window wells around basement windows to prevent water intrusion around the framing.



Recommendation
Contact a qualified carpenter.

2.41.1 Wood Products

MAINTAIN WOOD PRODUCTS

It is recommended to maintain exterior wood products on a regular basis; this consists of removing old and damaged paint / stain, priming and reapplying new products. This will prolong the lifespan of the wood product.

Recommendation

Contact a qualified handyman.

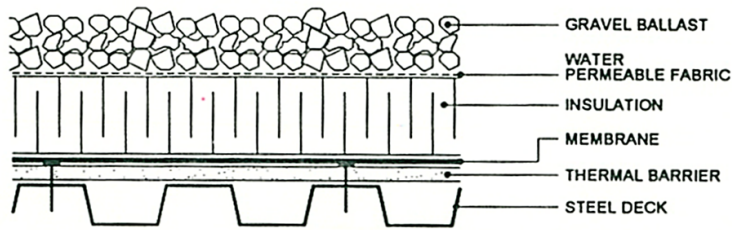


3: ROOF

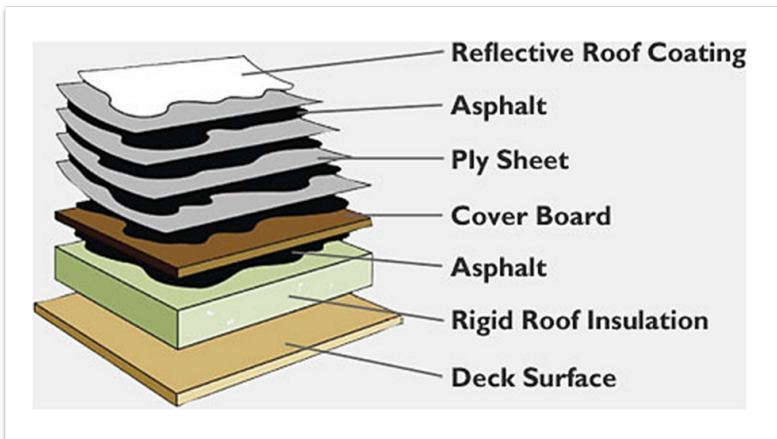
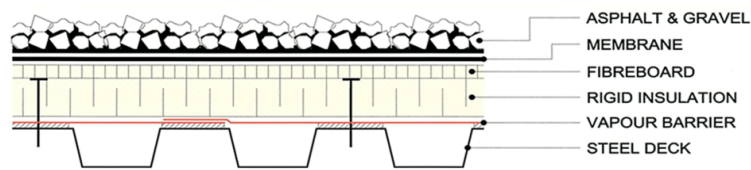
Information

Coverings: Built Up Roofing

Protected Membrane System Schematic Below



Conventional System Schematic Below



Deficiencies

3.1.1 Chimneys

SEALANT MISSING / DETERIORATED

It is recommended to seal openings to keep the weather out.

Recommendation

Contact a qualified professional.



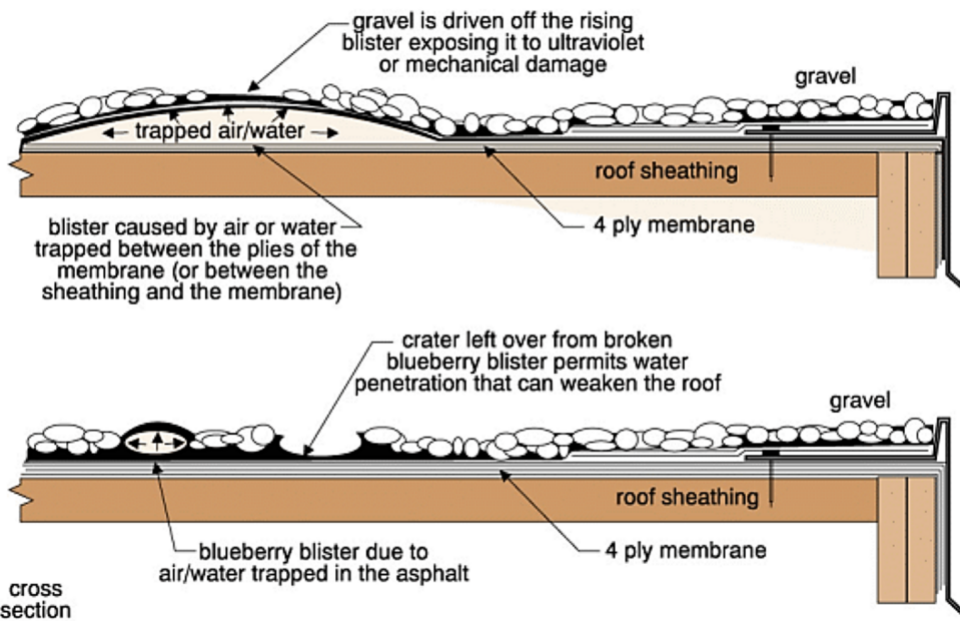
3.2.1 Coverings

 Items of Note

BUILT UP ROOFING DEFECT(S)

Exposed areas of the membrane were noted along with cracking / alligatoring. It is recommended to replace the missing ballast and monitor the areas for leakage. No active leaks were noted in these areas at the time of the inspection.

Blisters in built up roofing membranes



Recommendation
Contact a qualified roofing professional.



3.11.1 Roof Hatch

NOT INSULATED / WEATHER STRIPPED

It is recommended to insulate and weather strip the hatch.

Recommendation

Contact a qualified professional.

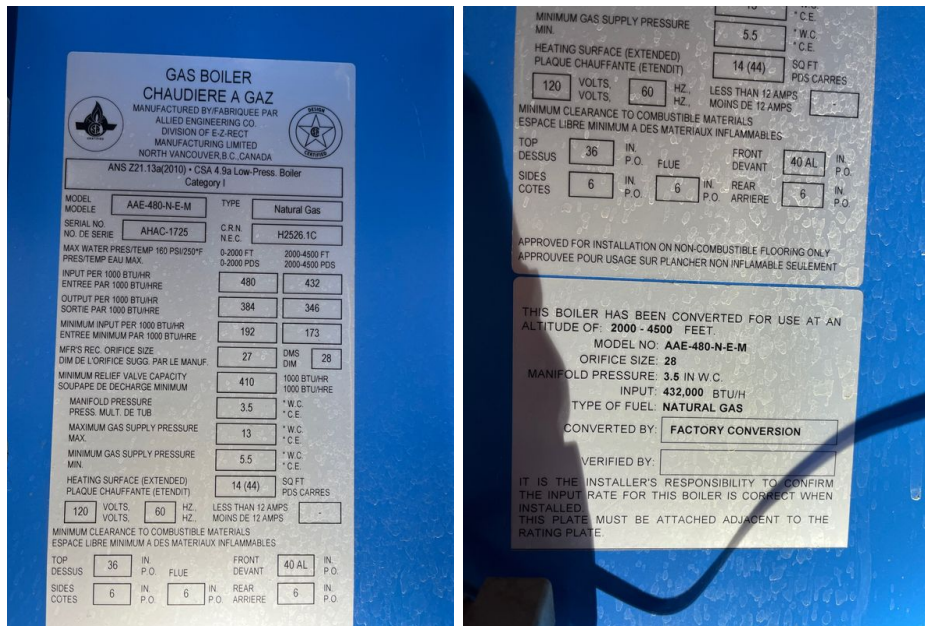


4: HEATING

Information

Main Heat Source: Age

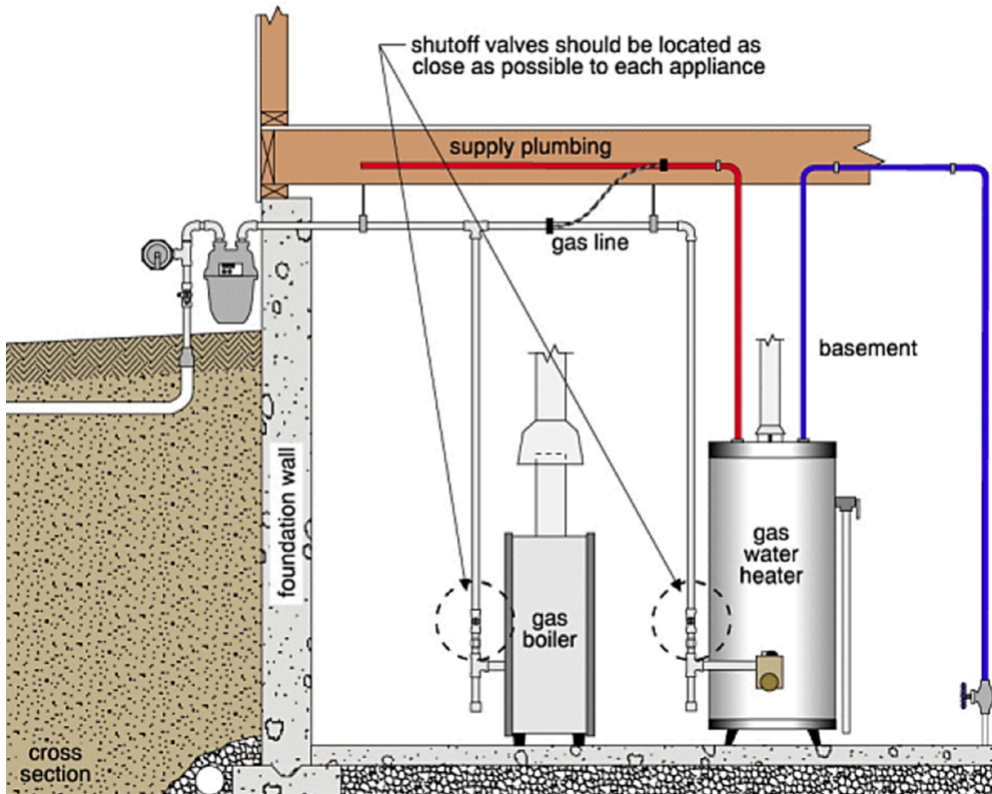
Years Old: 10



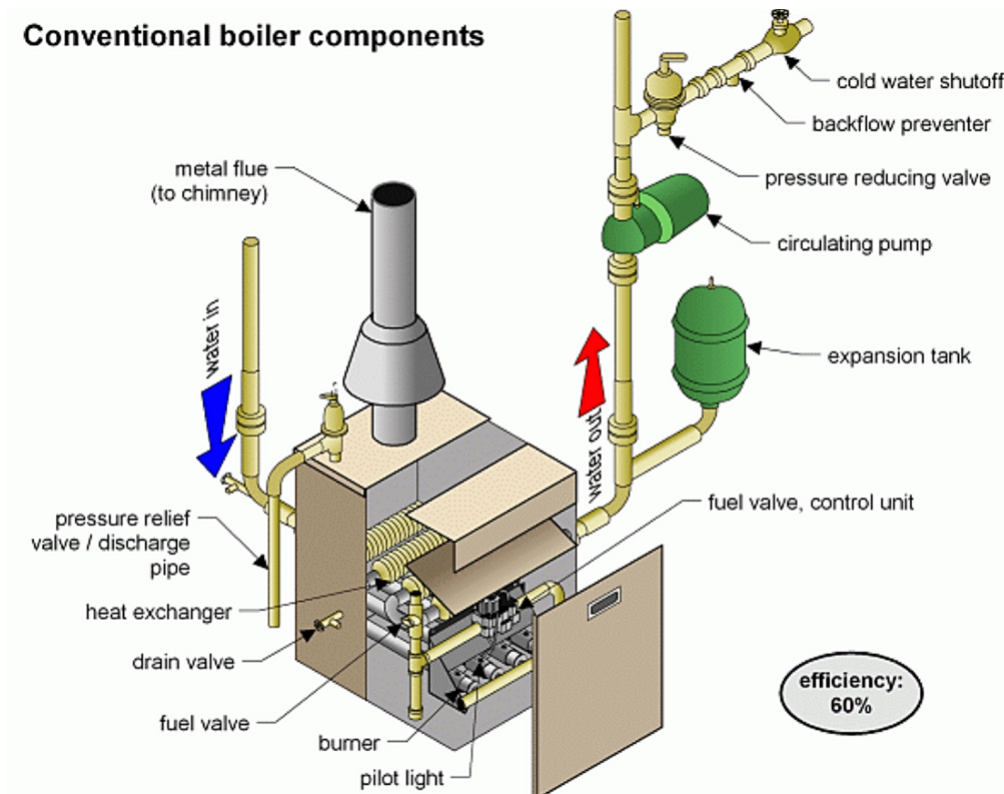
Main Heat Source: Boiler - Category 1

The boiler was given a general inspection. These units should be serviced once every 2-3 years. It is recommended to obtain the service history records.

Gas shutoff valves



Conventional boiler components





Limitations

Distribution Systems

HYDRONIC HEATING INOPERATIVE - TEMPERATURE

It should be noted that the hydronic heating is not functional. This may be due to the high ambient temperature.



5: PLUMBING

Information

Water Heater : Age

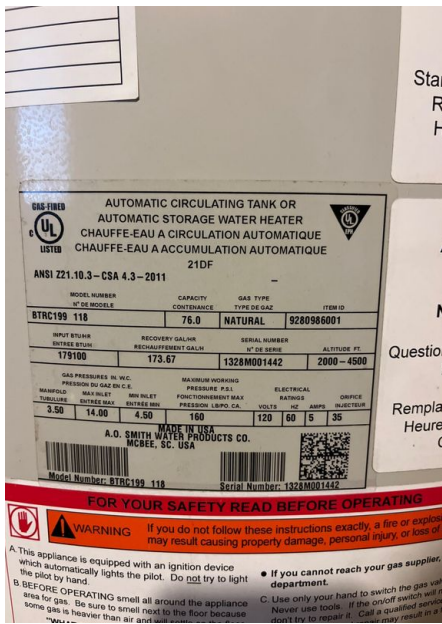
Age of Unit(s):10

Water Heater : Water Supply Type Water Heater : Capacity

Public

Gallons

76



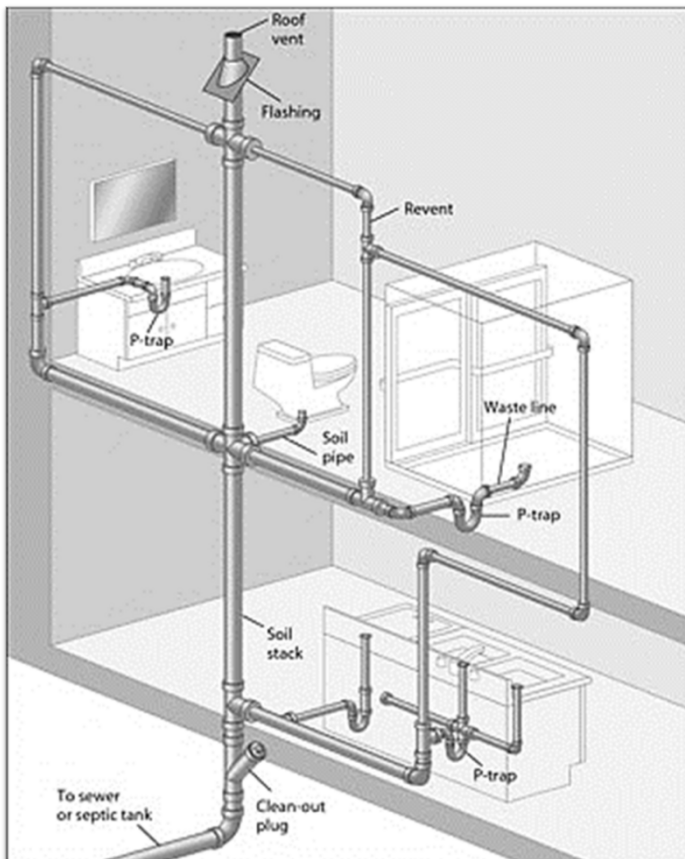
Water Supply, Distribution Systems : Water Distribution Material - Copper

Some of the water supply lines are made of copper.

Drain, Waste, & Vent Systems: Material

ABS, Copper, Cast Iron

These schematics are a representation of how a municipal sanitary system operates as well as inside a dwelling. These do not necessarily represent the exact system found in the structure.



Fixtures: Toilet

This is a schematic of common water closets (toilets) and is meant for informational purposes. This fixture schematic may not necessarily represent the water closets found in the structure.



Sewer Camera Inspection: Sewer Inspection Performed

A sewer camera inspection was performed. The municipal tie in was reached at approximately 110 feet.



Water Heater : Main Water Shut Off

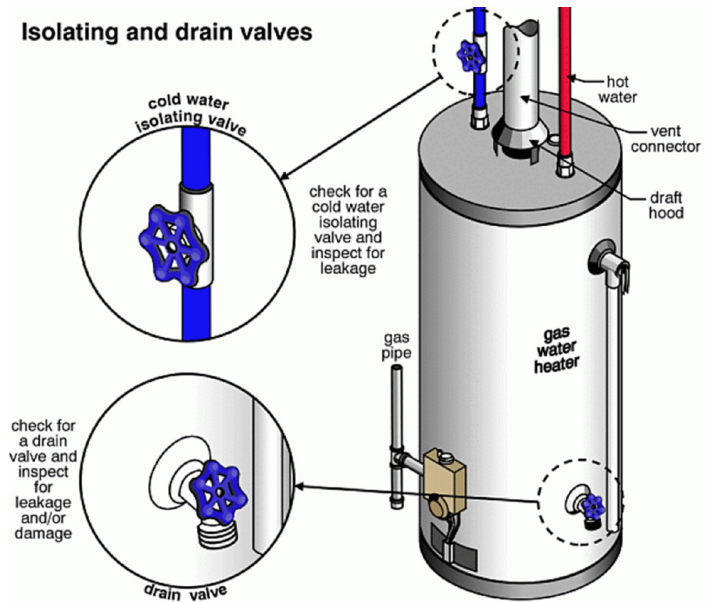
In case of a water emergency, this valve should be turned to shut off the water supply to the structure. It should be noted that these valves are not tested during the property inspection; these valves may fail to seal or turn due to wear and tear or lack of use.

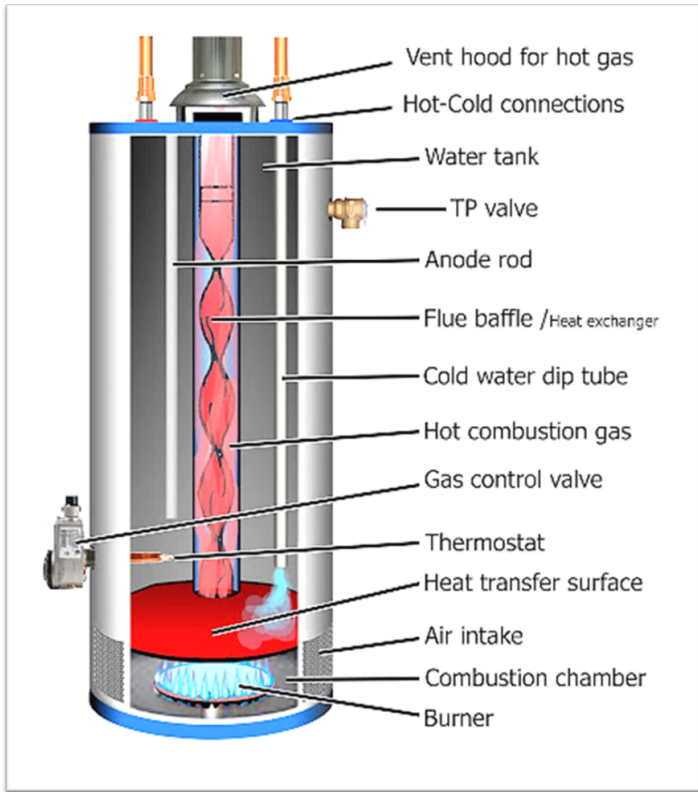


Water Heater : Tanked Water Heater - Gas

Gas

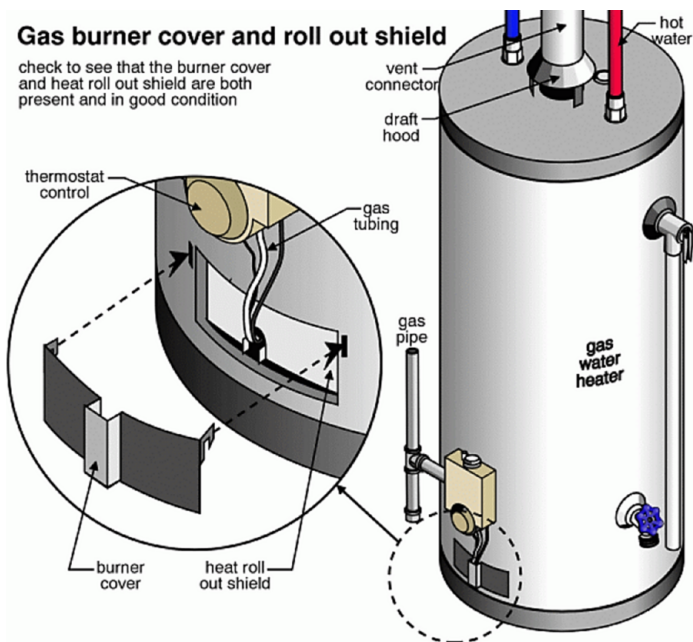
The water heating was inspected. Proper maintenance of the unit, such as annual drainage along with bi-annual rod replacement have shown to increase the life span of these systems. If the structure has been vacant for more than 4 weeks, it is recommended to flush the water from water heater to mitigate any exposure of waterborne pathogens. The main fuel supply shut off valve is located by tracing the gas line from the gas valve back until the location of a valve is found.





Gas burner cover and roll out shield

check to see that the burner cover and heat roll out shield are both present and in good condition

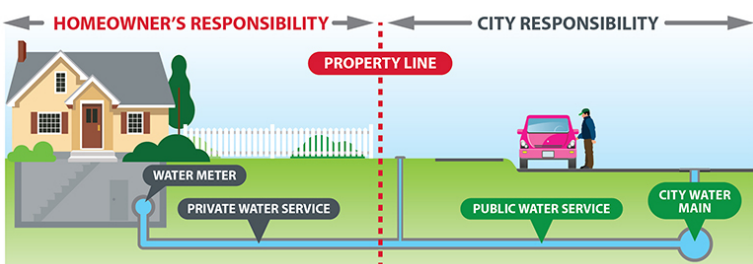
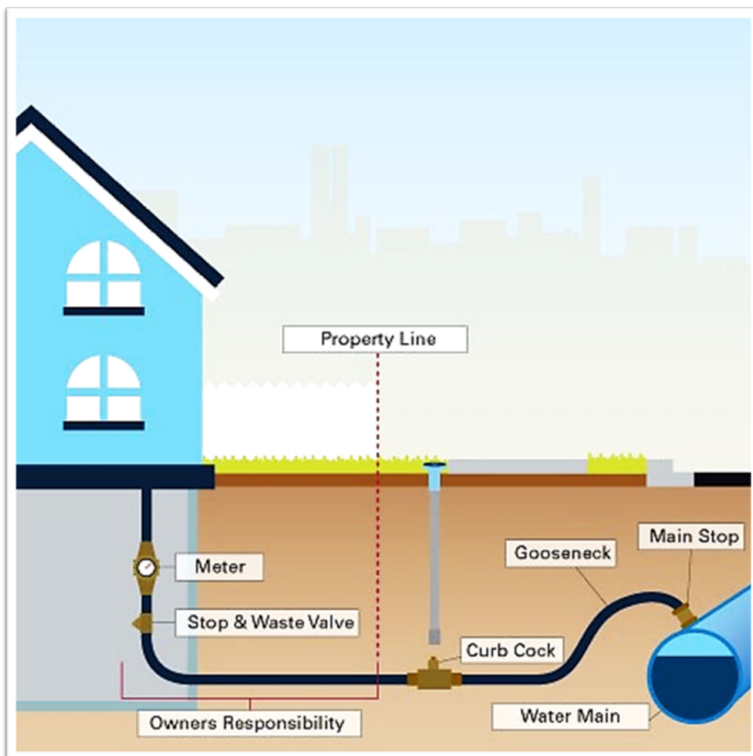




Water Supply, Distribution Systems : Main Water Line

Copper, Pex/Al/Pex, Polybutylene

This is a schematic of common water supply line installations and is meant for informational purposes. This schematic may not necessarily represent the installation of the water line found in the structure.



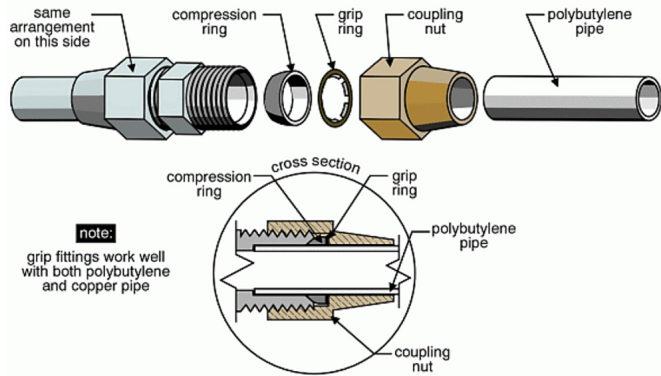
Water Supply, Distribution Systems : Water Distribution Material - Pex

The plumbing lines in the structure are Pex. It is recommended that the potential buyer inform their insurance provider of the brand to ensure that this does not pose a concern. Generally Pex piping is not a concern.

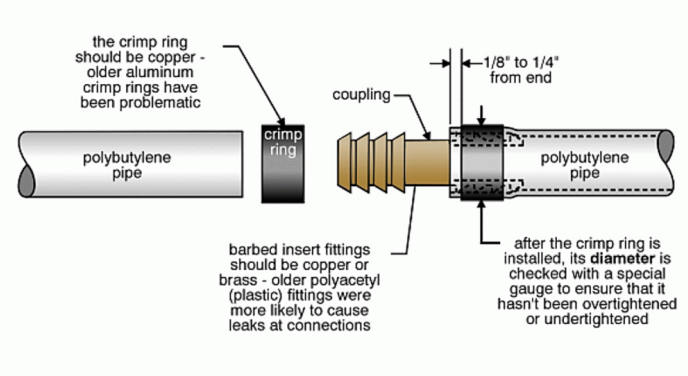
Water Supply, Distribution Systems : Water Distribution Material - Polybutylene

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995.

Polybutylene pipe - compression (grip) fitting



Polybutylene pipe - crimp fitting



Deficiencies

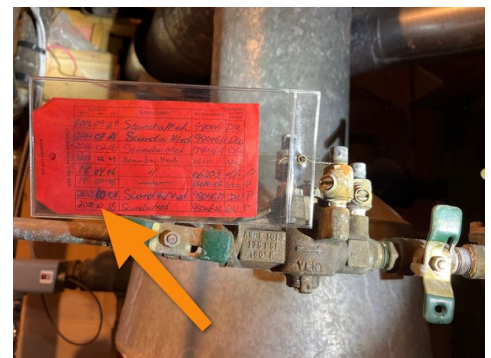
5.1.1 Backwater Valve

SERVICE RECOMMENDED

It is recommended to service back flow prevention devices annually.

Recommendation

Contact a qualified professional.



5.4.1 Fixtures

DAMAGE

UNIT 41

Damage was noted at one or more fixture. It is recommend to repair or replace the affected components.

Recommendation

Contact a qualified plumbing contractor.



5.4.2 Fixtures

DETERIORATED OR MISSING CAULKING

UNIT 22

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.3 Fixtures

DETERIORATED OR MISSING CAULKING

UNIT 31

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.4 Fixtures

DETERIORATED OR MISSING CAULKING

UNIT 23

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.5 Fixtures

DETERIORATED OR MISSING CAULKING

UNIT 21

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.6 Fixtures

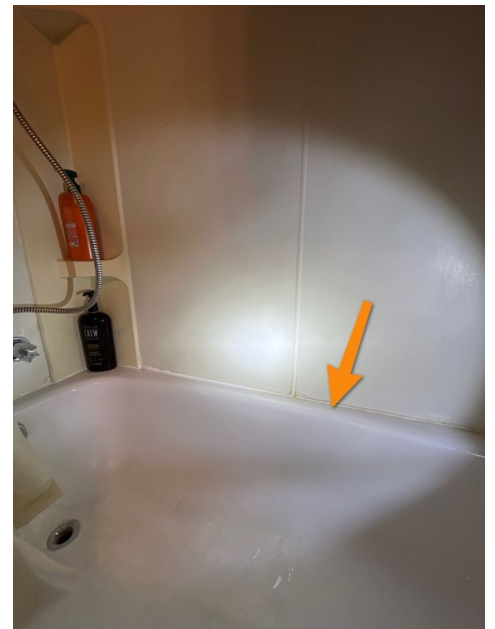
DETERIORATED OR MISSING CAULKING

UNIT 32

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.7 Fixtures

DETERIORATED OR MISSING CAULKING

UNIT 42

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.



5.4.8 Fixtures

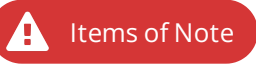
LEAK

UNIT 32

One or more leak(s) was noted at the following fixture(s). It is recommended that this be repaired by a qualified professional.

Recommendation

Contact a qualified plumbing contractor.



5.4.9 Fixtures

LEAK

UNIT 32

One or more leak(s) was noted at the following fixture(s). It is recommended that this be repaired by a qualified professional.

Recommendation

Contact a qualified plumbing contractor.



5.4.10 Fixtures

**LEAK**

UNIT 42 KITCHEN

One or more leak(s) was noted at the following fixture(s). It is recommended that this be repaired by a qualified professional.

Recommendation

Contact a qualified plumbing contractor.



5.4.11 Fixtures

NUISANCE DRIP

UNIT 21

A nuisance drip was found at the following fixture.

Recommendation

Contact a qualified plumbing contractor.



5.4.12 Fixtures

SHOWER DIVERTER

UNITS 31 AND 33

The following shower diverter does not function as well as it is intended. Repair or replacement may be needed if increased enjoyment is desired.

Recommendation

Contact a qualified plumbing contractor.



5.4.13 Fixtures

SLOW DRAIN(S)

UNIT 33

One or more fixtures were noted to have a slow drain; this should be serviced to provide adequate drainage. Pouring baking soda followed by vinegar may help break up obstructions down hole if debris is the culprit.

Recommendation

Contact a qualified plumbing contractor.



5.4.14 Fixtures

SLOW DRAIN(S)

UNIT 22

One or more fixtures were noted to have a slow drain; this should be serviced to provide adequate drainage. Pouring baking soda followed by vinegar may help break up obstructions down hole if debris is the culprit.

Recommendation

Contact a qualified plumbing contractor.



5.4.15 Fixtures

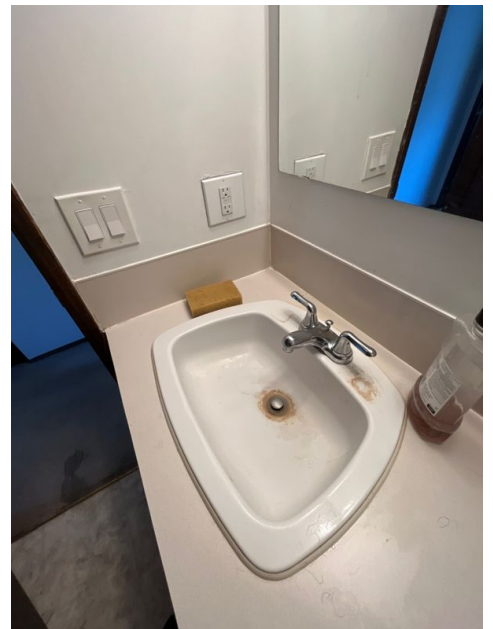
SLOW DRAIN(S)

UNIT 31

One or more fixtures were noted to have a slow drain; this should be serviced to provide adequate drainage. Pouring baking soda followed by vinegar may help break up obstructions down hole if debris is the culprit.

Recommendation

Contact a qualified plumbing contractor.



5.9.1 Sewer Camera Inspection

DEBRIS

Some debris was noted in the sewer line. It is recommended to have a cleaning program to remove the debris to help mitigate the chance of a sewer back up.



Recommendation
Contact a qualified professional.

5.9.2 Sewer Camera Inspection
DIP / BELLY

 Items of Note

A dip / belly was noted at appx. 3, 40, 47, 56, 95, 99, 104 and 109 feet. It is always recommended that drain lines have a negative slope towards the municipal tie in points as dips and bellies can cause debris to accumulate which may result in a sewage backup. It is recommended to maintain an annual or biannual cleaning maintenance program as debris was noted in several areas.



Recommendation

Contact a qualified plumbing contractor.

5.9.3 Sewer Camera Inspection

BUILD UP



Build up was noted in various areas of the sewer line. It is recommended to clean the line to mitigate the chance of a sewer backup. Once cleared, it is recommended to perform another sewer camera inspection to confirm no bulges exist below the build up.





Recommendation

Contact a qualified professional.

5.13.1 Water Heater

AGE

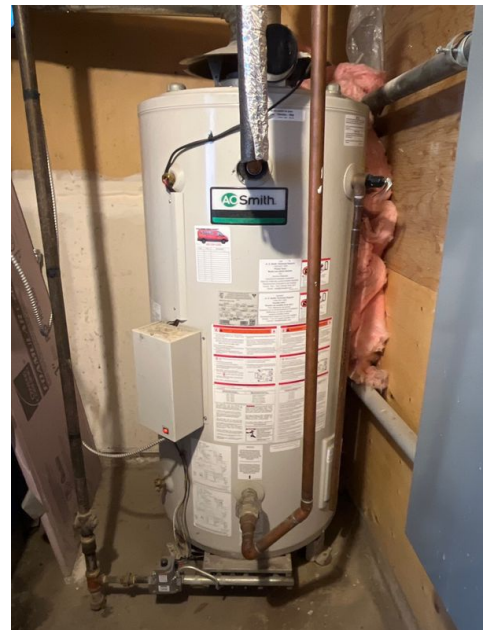


Items of Note

Due to the age of the water heater, it is recommended that the client(s) begin budgeting for a replacement unit. Proper maintenance of the unit, such as annual drainage along with bi-annual rod replacement have shown to increase the life span of these systems. If the structure has been vacant for more than 4 weeks, it is recommended to flush the water from water heater to mitigate any exposure of waterborne pathogens.

Recommendation

Contact a qualified plumbing contractor.



5.14.1 Water Supply, Distribution Systems

POLYBUTYLENE SUPPLY PIPES

UNIT 32 BATHROOM



Items of Note

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995.

Recommendation

Contact a qualified plumbing contractor.



6: ELECTRICAL

Information

Main Panelboard: Main Disconnect Rating (Overcurrent Protection Device / Breaker)
AMPs
 250

Sub Panel: Panel Type
 Circuit Breaker

Sub Panel: Conductor Material
 Aluminum

Branch Wiring : Wiring Schematic

This is a schematic that explains the various types of copper conductors. It is meant simply for informational purposes. The structure's single strand circuit branch wiring is made of copper.

Common household wire and fuse sizes

14 AWG copper wire



common uses:

most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:

15 amps

10 AWG copper wire



common uses:

electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:

30 amps

12 AWG copper wire



common uses:

some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:

20 amps

8 AWG copper wire



common uses:

electric stoves and ovens

typical fuse/breaker size:

40 amps

Carbon Monoxide & Smoke Detectors / Alarms: Carbon Monoxide Alarms

It is recommended to have carbon monoxide alarms on every floor of a structure. These are safety devices which detect a lethal gas that has taken the lives of many unsuspecting individuals. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning appliance such as a furnace, range, water heater, space heater, dryer, or wood stove.

Carbon Monoxide & Smoke Detectors / Alarms: Smoke Alarms

It is recommended to have smoke alarms in every bedroom of a structure.

These units should be tested on a monthly basis with a canister of smoke to ensure they are functioning properly. Batteries should be changed annually at the least.

All the smoke alarms in the structure should be checked to ensure that they are not older than 10 years; as this is the typical life span of the units. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years.



GFCI & AFCI: GFI - Bathroom(s)

The Ground Fault Circuit Interrupter (GFCI) receptacles in the bathroom(s) were tested.

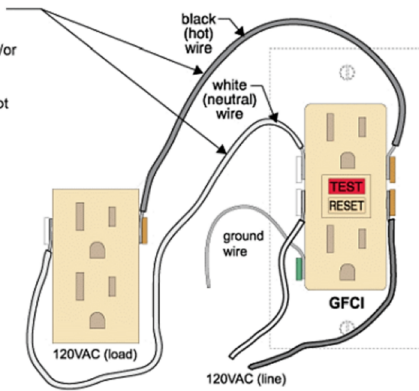
Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



GFCI & AFCI: GFI - Kitchen(s)

11 & 12

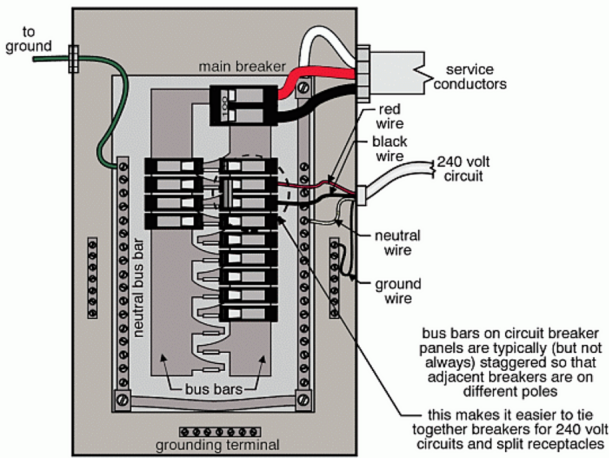
The Ground Fault Circuit Interrupter (GFCI) receptacles in the kitchen(s) were tested.



Main Panelboard: Panelboard

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

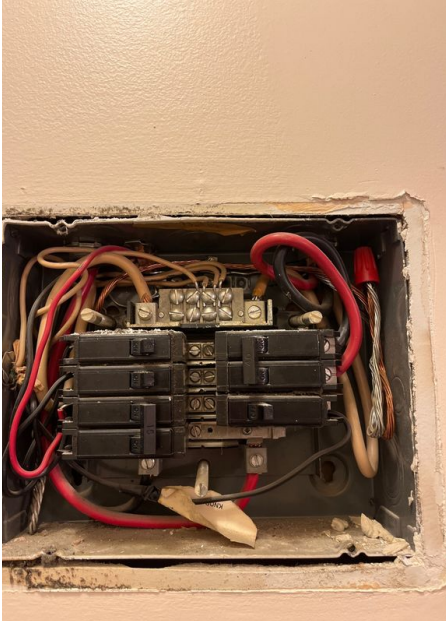
Staggered bus bars on circuit breaker panels



Sub Panel: Panelboard

Unit 12

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

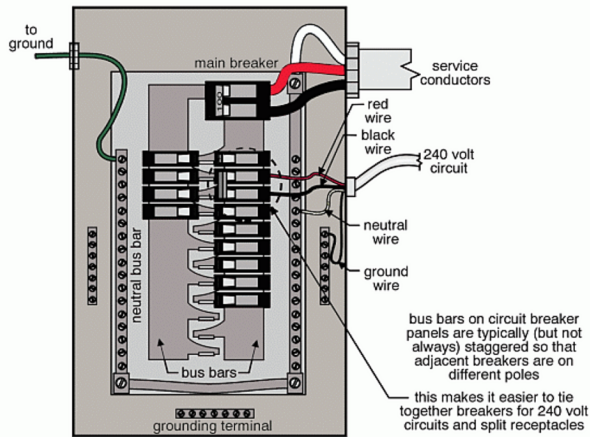


Sub Panel: Panelboard

Unit 33

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

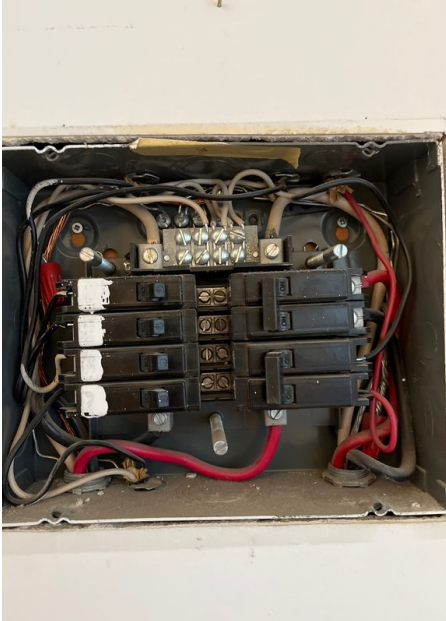
Staggered bus bars on circuit breaker panels



Sub Panel: Panelboard

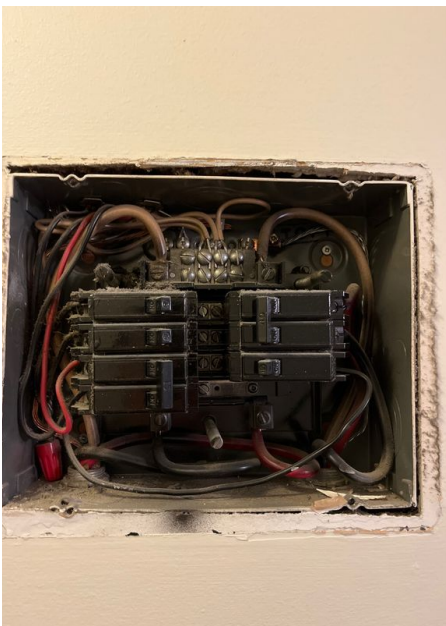
Unit 31

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

**Sub Panel: Panelboard**

Unit 22

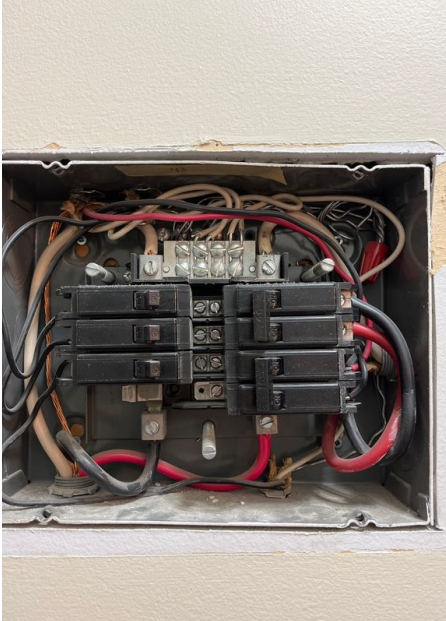
The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.



Sub Panel: Panelboard

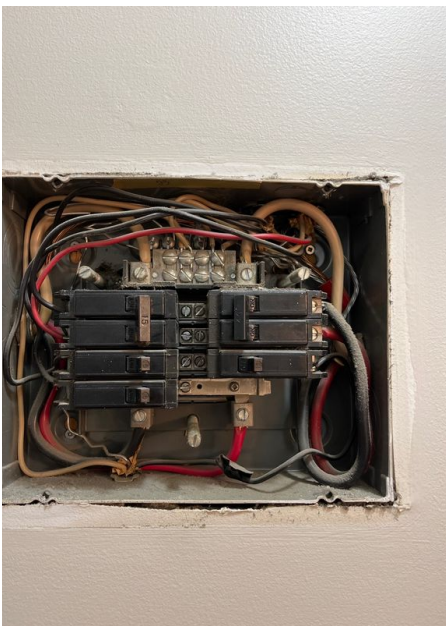
Unit 43

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

**Sub Panel: Panelboard**

Unit 23

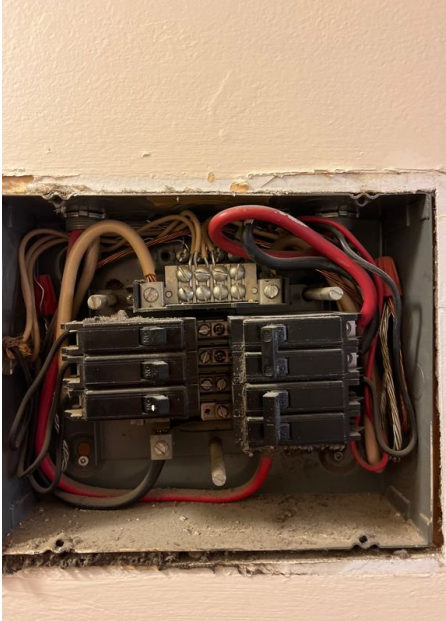
The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.



Sub Panel: Panelboard

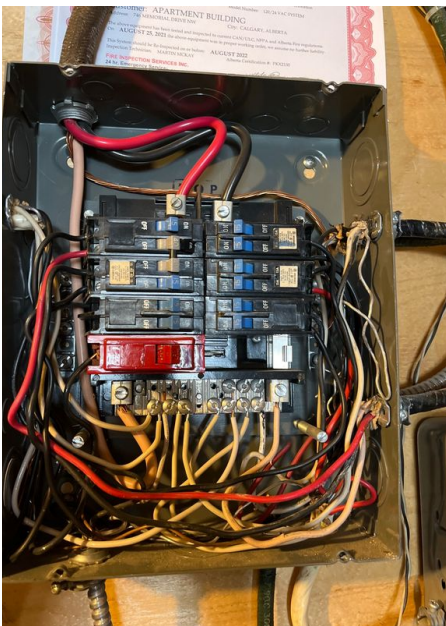
Unit 11

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

**Sub Panel: Panelboard**

Mechanical Room

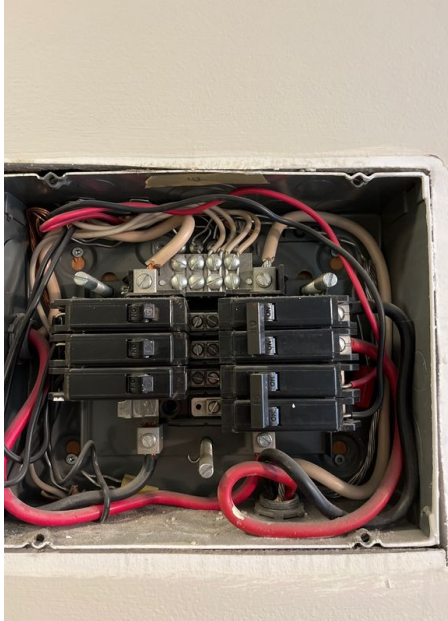
The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.



Sub Panel: Panelboard

Unit 42

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

**Sub Panel: Panelboard**

Unit 41

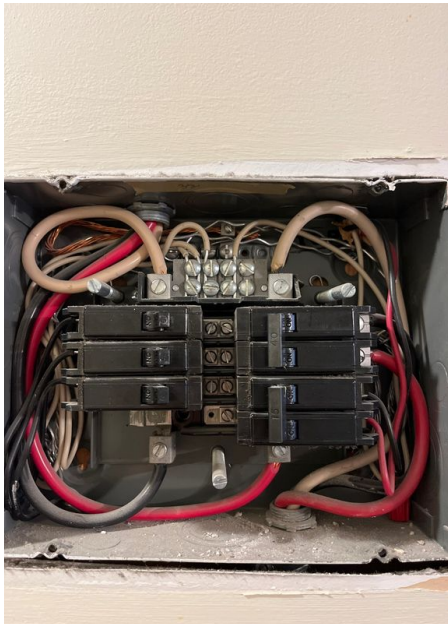
The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.



Sub Panel: Panelboard

Unit 32

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.



Sub Panel: Panelboard

Unit 23

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

Deficiencies

6.1.1 Branch Wiring

ALUMINUM BRANCH CIRCUITS

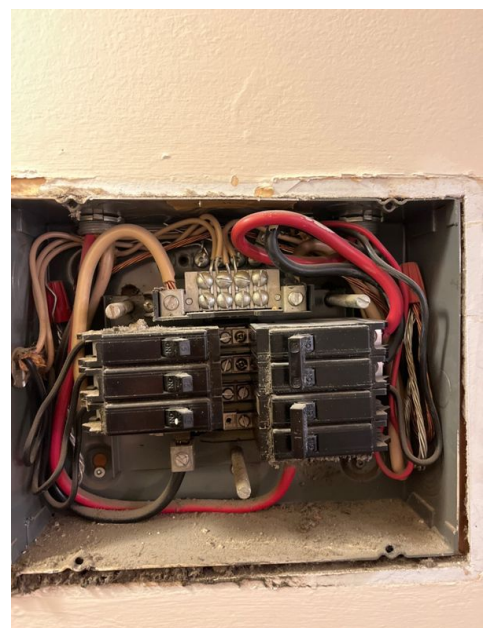
Some of the branch circuit wiring was found to be made of aluminum. It is recommended that the potential buyer contact their home insurance provider to see if any additional information is required prior to insuring the structure.

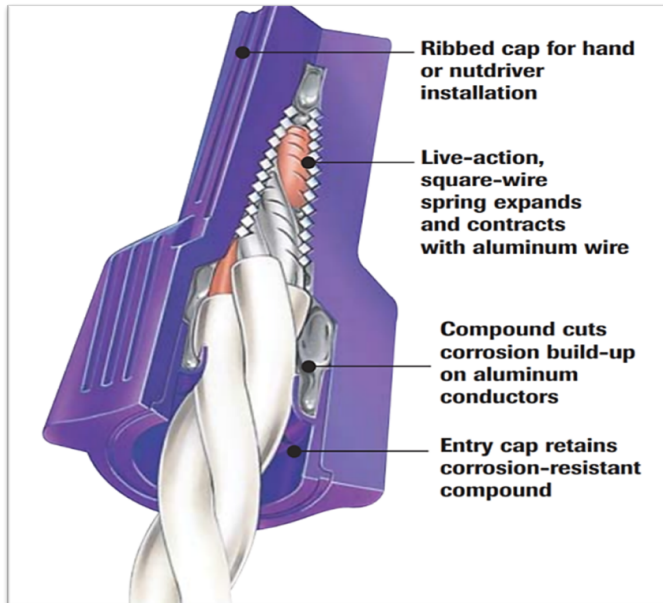
Recommendation

Contact a qualified electrical contractor.



Items of Note





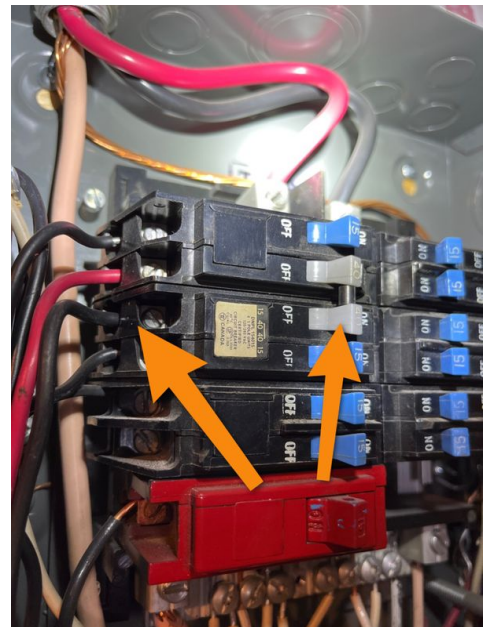
6.1.2 Branch Wiring

INADEQUATE WIRING SIZE

It appears that the following circuit wiring is underrated for the breaker(s) installed. This should be remedied by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.



6.5.1 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 32

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

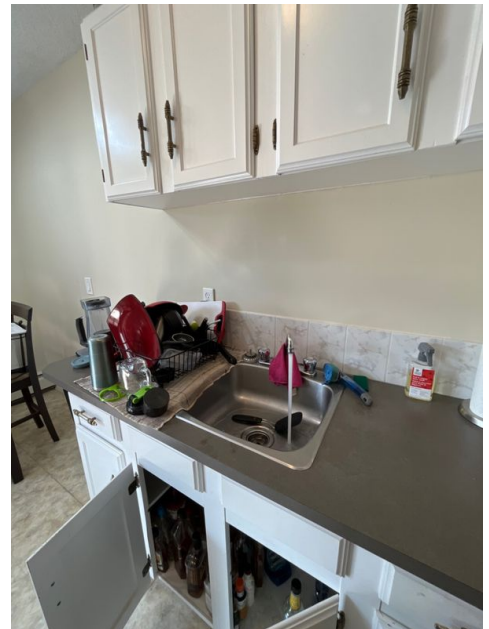
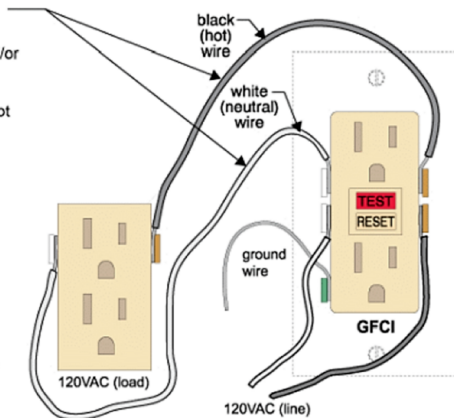
Ground fault circuit interrupter
also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



Recommendation

Contact a qualified electrical contractor.

6.5.2 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 22

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.3 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 31

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.4 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 43

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.5 GFCI & AFCI

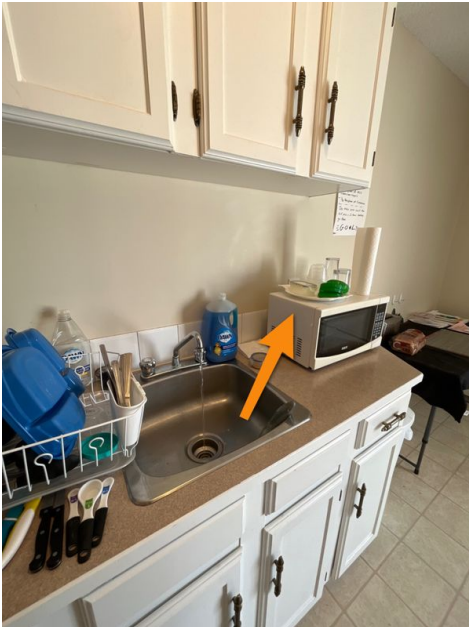
NO GFCI PROTECTION INSTALLED

UNIT 33

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.6 GFCI & AFCI

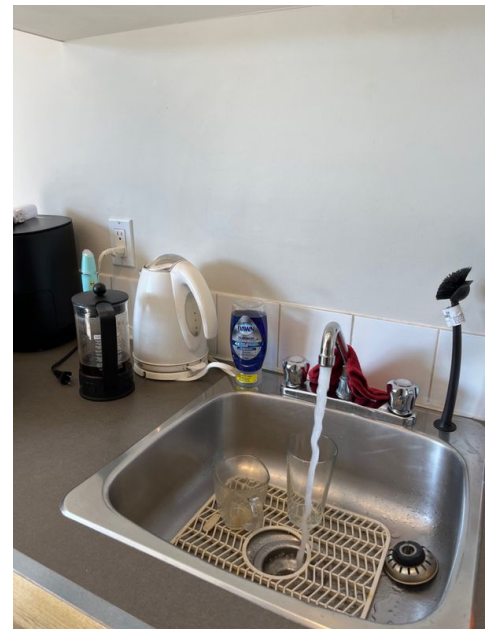
NO GFCI PROTECTION INSTALLED

UNIT 42

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.7 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 23

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.5.8 GFCI & AFCI

NO GFCI PROTECTION INSTALLED

UNIT 22

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

Recommendation

Contact a qualified electrical contractor.



6.9.1 Sub Panel

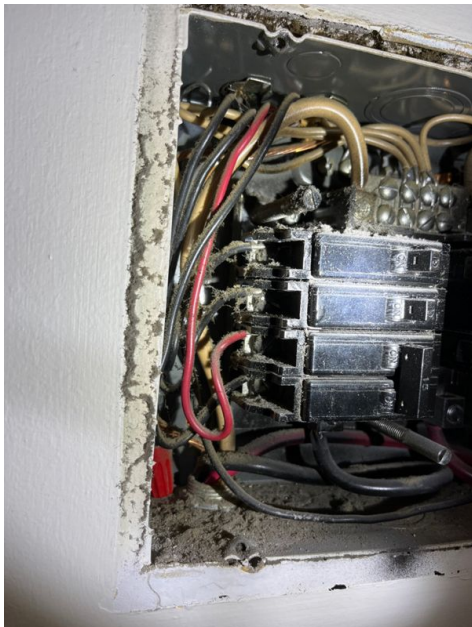
DEBRIS

UNIT 22

Debris was noted in the following panelboard(s). It is recommended that the debris be removed to prevent a chance of overheating.

Recommendation

Contact a qualified electrical contractor.



6.9.2 Sub Panel

RUST

UNIT 23

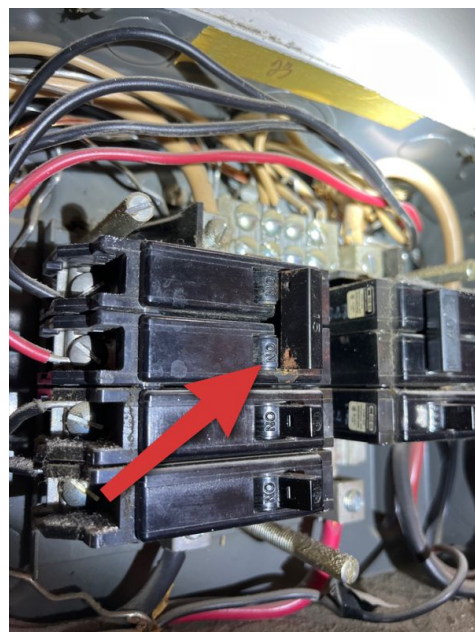
Corrosion was noted inside the panelboard. It is recommended a qualified electrician further investigates this.

Recommendation

Contact a qualified electrical contractor.



Items of Note



6.11.1 Overcurrent Protection Devices (Breakers / Fuses)

DOUBLE LUGGING

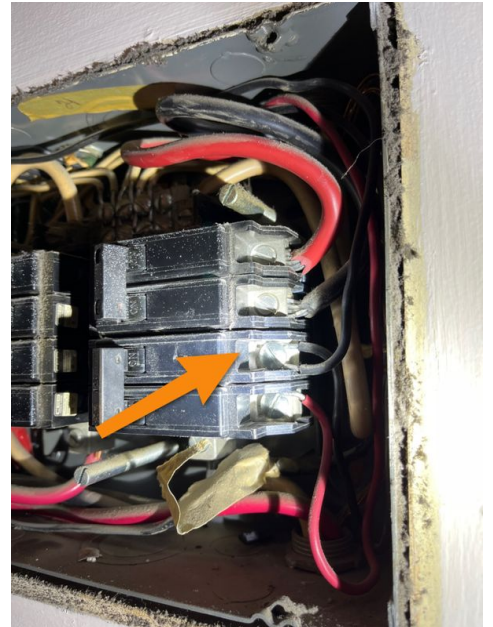
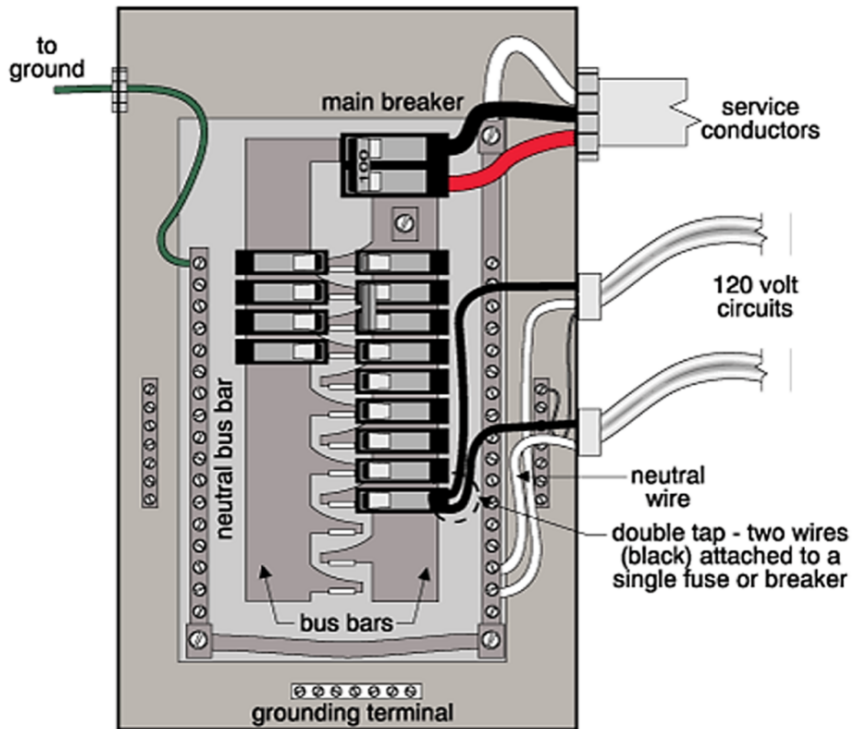
UNIT 21

Breakers are typically designed to only have one wire connected to them. Additional wiring may cause arcing which can cause a fire. This should be remedied by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.

Double lugging



6.12.1 Outlets

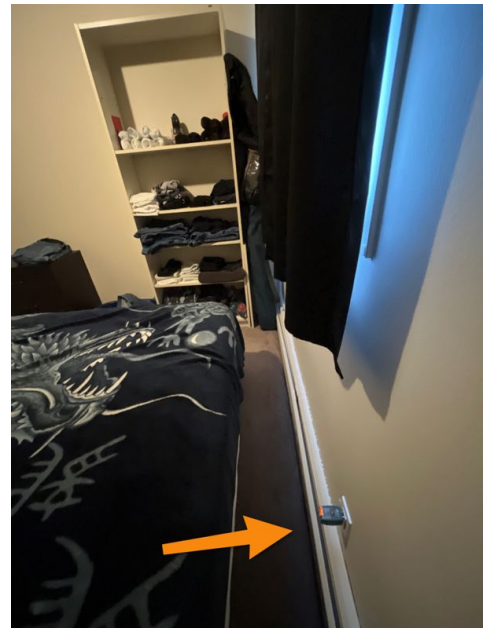
HOT NEUTRAL REVERSED

UNIT 33

One or more receptacles were noted to be miswired.

Recommendation

Contact a qualified electrical contractor.



7: STRUCTURAL

Information

Attic & Foundation : Foundation Material

Concrete

Deficiencies

7.9.1 Foundation

 Items of Note

DETERIORATION

Areas of deterioration were noted at the foundation. It is recommended these be repaired by a qualified professional.

Recommendation

Contact a foundation contractor.



7.10.1 Wall Structure

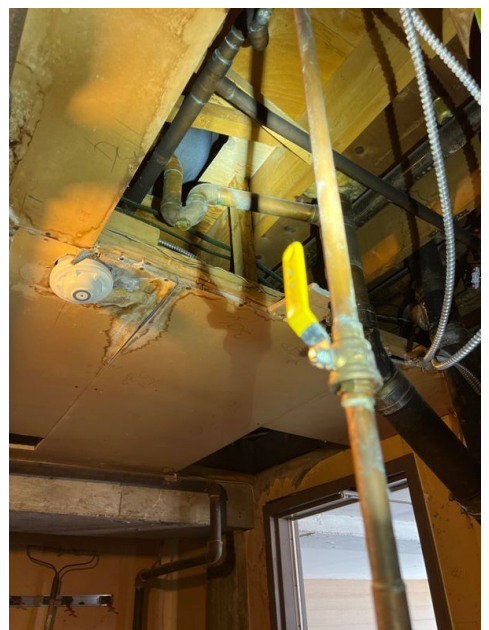
NO FIRE SEPARATION

MECHANICAL ROOM

It is recommended to have fire separation between the adjoining unit(s).

Recommendation

Contact a qualified professional.



8: BUILDING SCIENCE

Deficiencies

8.2.1 Exhaust Systems

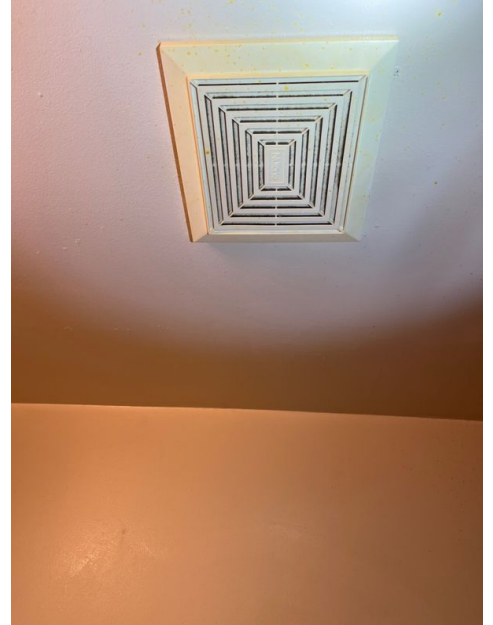
DIRTY EXHAUST FAN COVER(S)

UNIT 32

Some of the grills for the exhaust fans were found to be dirty; resulting in a loss of air flow. It is recommended to have these cleaned; using the dishwasher is a simple and quick method.

Recommendation

Contact a handyman or DIY project



8.2.2 Exhaust Systems

DIRTY EXHAUST FAN COVER(S)

UNIT 43

Some of the grills for the exhaust fans were found to be dirty; resulting in a loss of air flow. It is recommended to have these cleaned; using the dishwasher is a simple and quick method.

Recommendation

Contact a handyman or DIY project



8.2.3 Exhaust Systems

DIRTY EXHAUST FAN COVER(S)

UNIT 42

Some of the grills for the exhaust fans were found to be dirty; resulting in a loss of air flow. It is recommended to have these cleaned; using the dishwasher is a simple and quick method.

Recommendation

Contact a handyman or DIY project



8.2.4 Exhaust Systems

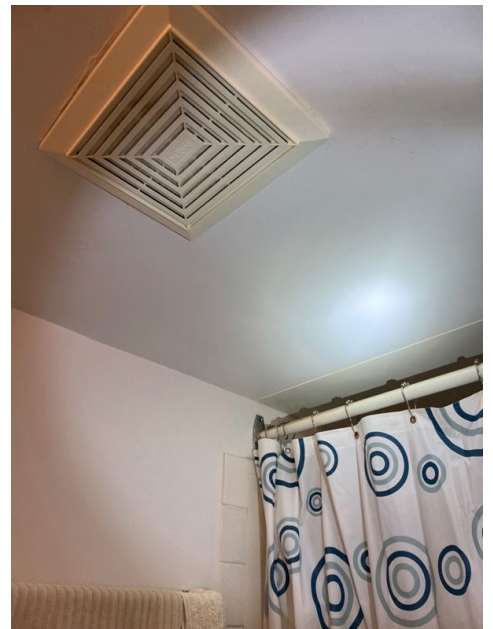
DIRTY EXHAUST FAN COVER(S)

UNIT 22

Some of the grills for the exhaust fans were found to be dirty; resulting in a loss of air flow. It is recommended to have these cleaned; using the dishwasher is a simple and quick method.

Recommendation

Contact a handyman or DIY project



9: INTERIOR

Information

Cosmetics: General Comment

Unit 31

Cosmetics are not part of an inspection. Any cosmetics indicated in the report are provided as a courtesy.



Cosmetics: General Comment

Common Areas All Doors

Cosmetics are not part of an inspection. Any cosmetics indicated in the report are provided as a courtesy.



Cosmetics: General Comment

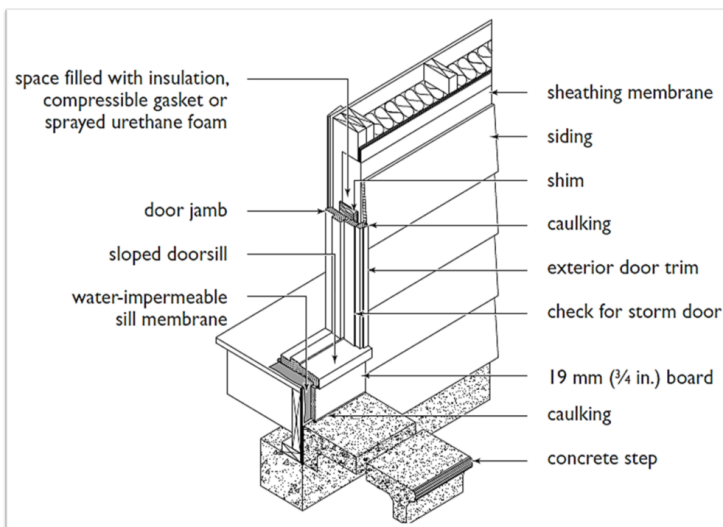
Unit 33

Cosmetics are not part of an inspection. Any cosmetics indicated in the report are provided as a courtesy.



Doors: Door Locks and Codes

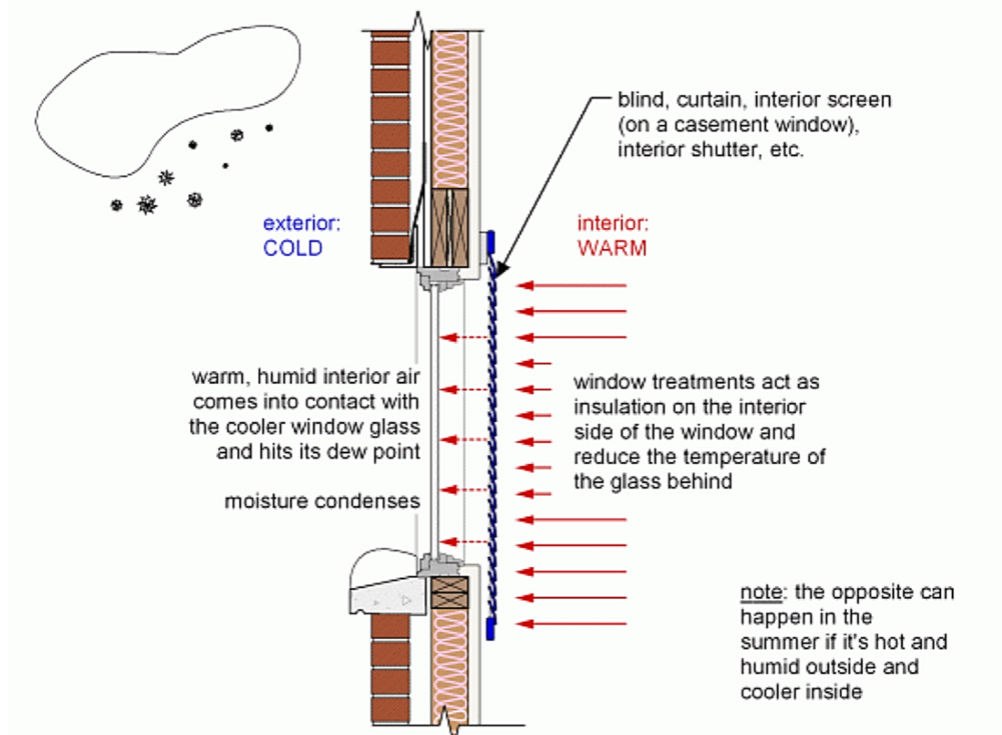
It is recommended to have all exterior door locks tumbled and codes changed, after the structure is purchased.



Windows: Windows

No warranties are made for the integrity of the windows, seals, frames, or against water intrusion. It should be noted that windows should be adequately sized for egress purposes (350mm total area obstructions and no dimension less than 15"). In addition, bedrooms should have a chair, table, etc. that allow egress, for especially children and elderly, in case of an emergency. All bars should be removed for egress purposes. It should be noted that adding tinting or foil films to double-glazed windows; voids manufacturer's warranties. Lastly, it is recommended to have air flow during colder seasons to prevent condensation build up. This consists of opening the blinds.

Blinds and shutters can contribute to window condensation



Deficiencies

9.3.1 Countertops & Cabinets

SERVICE REQUIRED

UNIT 31

Some of the cabinets require servicing.

Recommendation

Contact a qualified cabinet contractor.



9.4.1 Doors

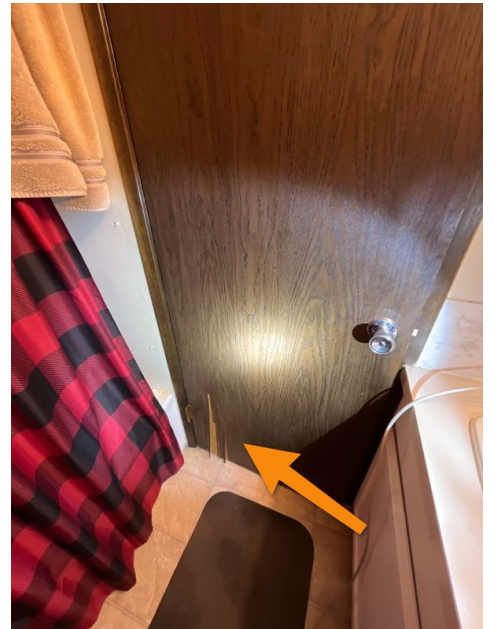
DAMAGE

UNIT 32

One or more doors were noted to have damage.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.2 Doors

DAMAGE

UNIT 41

One or more doors were noted to have damage.

Recommendation

Contact a qualified door repair/installation contractor.

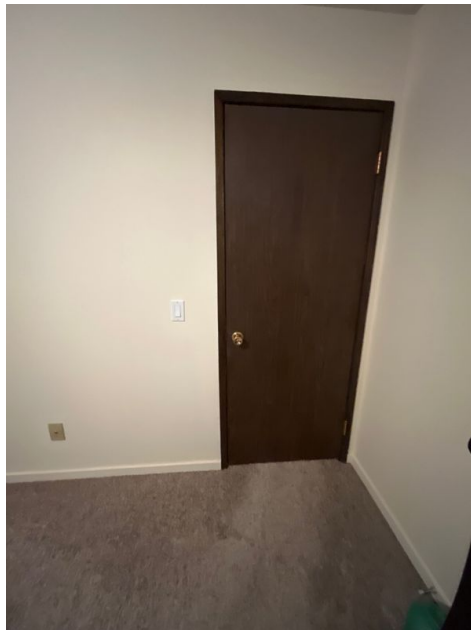


9.4.3 Doors

DOESN'T LATCH

UNIT 21

One or more doors did not latch well. A servicing is recommended for smoother operation.



9.4.4 Doors

DOESN'T LATCH

UNIT 12

One or more doors did not latch well. A servicing is recommended for smoother operation.



9.4.5 Doors

HARDWARE MISSING - DEADBOLT

It is recommended to install deadbolts for exterior doors.



9.4.6 Doors

ROT

Signs of wood rot were noted at the following door(s). All affected components should be replaced with rot resistant lumber. With any renovations, water marks and potential rot / mold should be expected.

Recommendation

Contact a qualified carpenter.



9.4.7 Doors

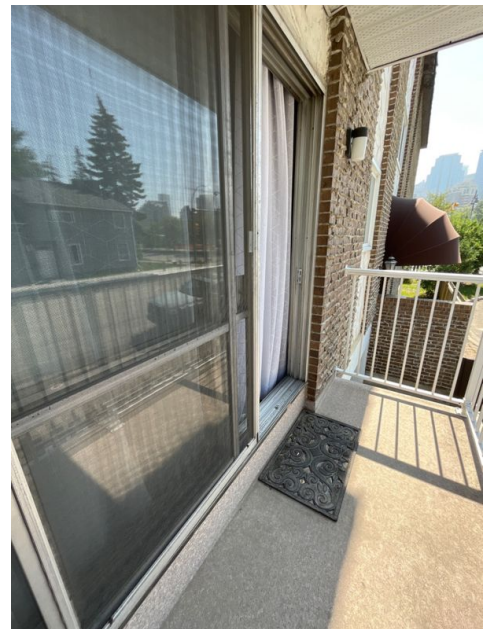
SERVICING RECOMMENDED

UNIT 21

Some of the doors require servicing.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.8 Doors

SERVICING RECOMMENDED

UNIT 22

Some of the doors require servicing.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.9 Doors

SERVICING RECOMMENDED

UNIT 43

Some of the doors require servicing.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.10 Doors

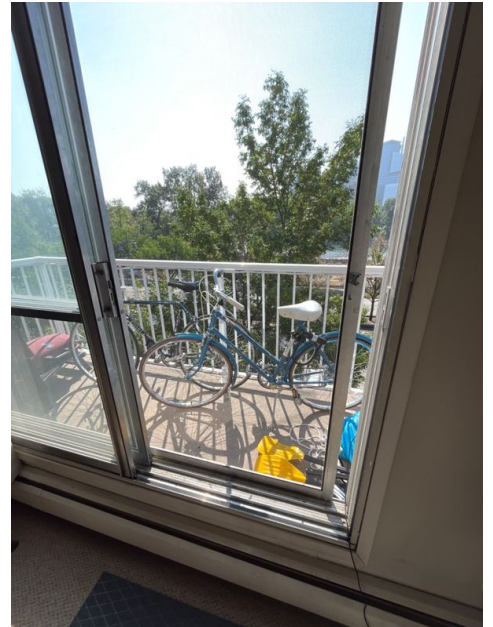
SERVICING RECOMMENDED

UNIT 42

Some of the doors require servicing.

Recommendation

Contact a qualified door repair/installation contractor.



9.4.11 Doors

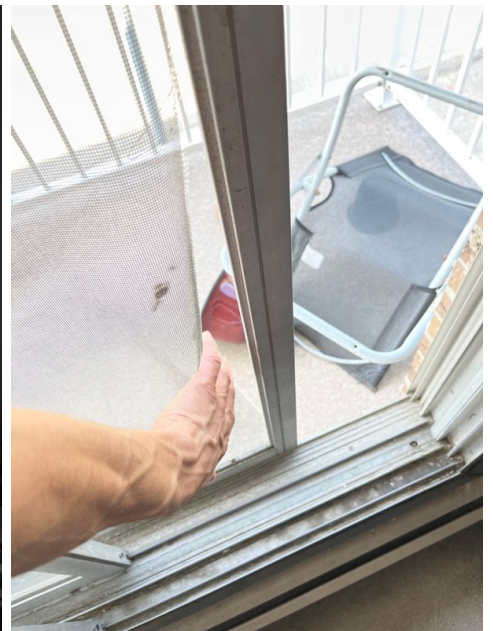
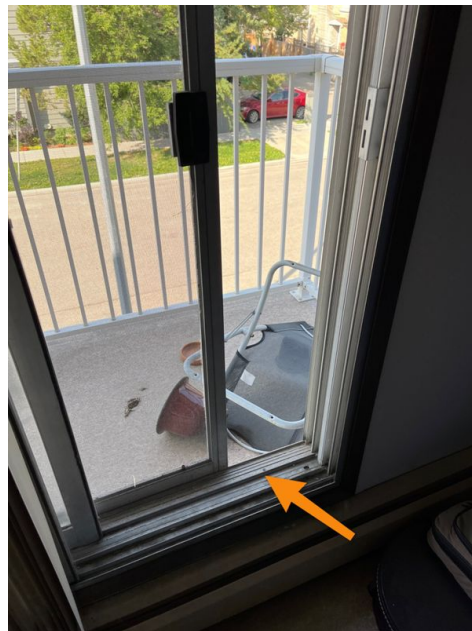
SERVICING RECOMMENDED

UNIT 31

Some of the doors require servicing.

Recommendation

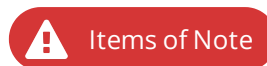
Contact a qualified door repair/installation contractor.



9.7.1 Hazardous Materials

POSSIBLE ORGANIC GROWTH

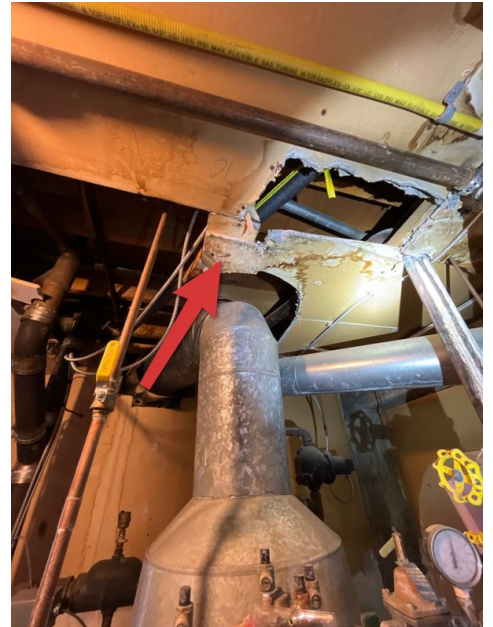
MECHANICAL ROOM



One or more areas were found to have, what appears to be organic growth. It is recommended to remove this by either using a mold killing agent or replacing the building material. With any renovations, additional signs of water damage may be found.

Recommendation

Contact a qualified mold remediation contractor



9.10.1 Rodents / Vermin

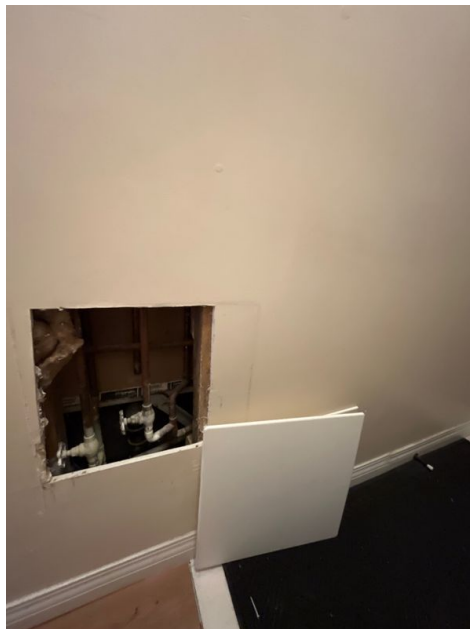
EVIDENCE OF RODENTS / VERMIN

UNIT 11

Evidence of pests were noted in the structure. It is recommended to remove the debris and to employ traps or call a pest control specialist.

Recommendation

Contact a qualified professional.



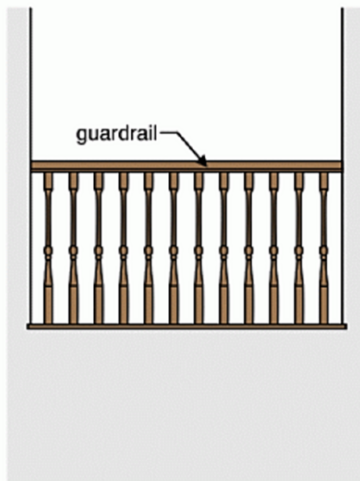
9.13.1 Steps, Stairways & Railings

HANDRAIL(S) LOOSE

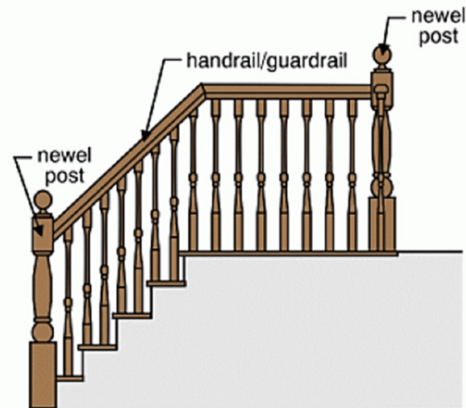
NORTH

One or more of the handrails were noted to be loose and should be better secured.

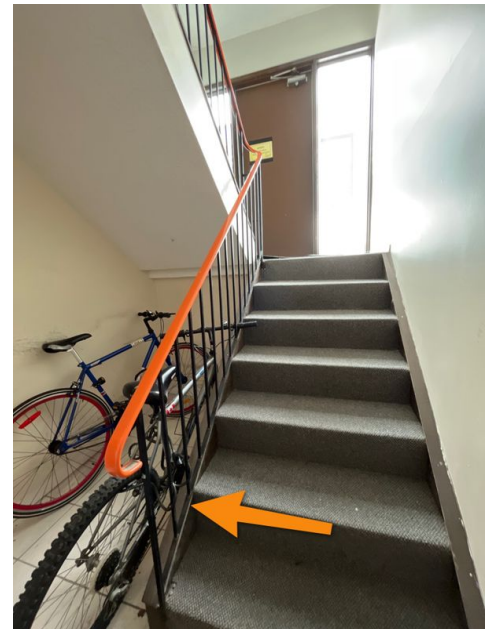
Handrail support



guardrails and handrails anchored to walls are the strongest



if the handrail (or guardrail) is supported at its ends by newel posts and the posts are not well secured, the whole assembly can be loose



Recommendation

Contact a qualified carpenter.

9.15.1 Water Marks / Damage

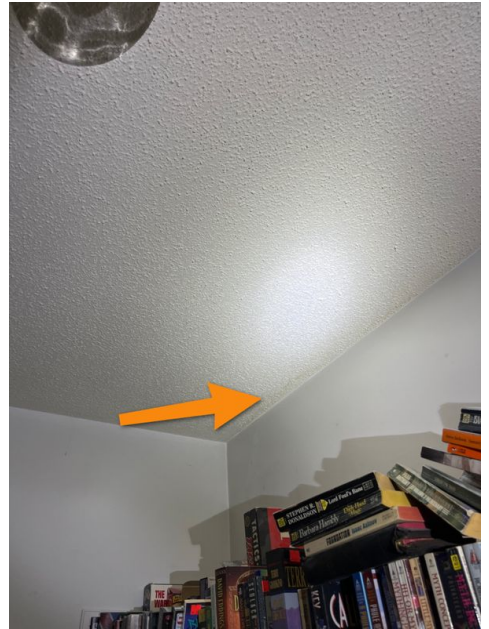
WATER MARKS / DAMAGE

UNIT 31

Water marks and damage were noted in the following area(s). While no active leaks or moisture was present at the time of the inspection, it is recommended to inquire with the current occupants as to the history of the event and to monitor the area.

Recommendation

Contact a qualified professional.



9.15.2 Water Marks / Damage

WATER MARKS / DAMAGE

3D FLOOR STORAGE

Water marks and damage were noted in the following area(s). While no active leaks or moisture was present at the time of the inspection, it is recommended to inquire with the current occupants as to the history of the event and to monitor the area.

Recommendation

Contact a qualified professional.



9.15.3 Water Marks / Damage

WATER MARKS / DAMAGE

LAUNDRY

Water marks and damage were noted in the following area(s). While no active leaks or moisture was present at the time of the inspection, it is recommended to inquire with the current occupants as to the history of the event and to monitor the area.

Recommendation

Contact a qualified professional.



9.15.4 Water Marks / Damage

WATER MARKS

UNIT 42

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.15.5 Water Marks / Damage

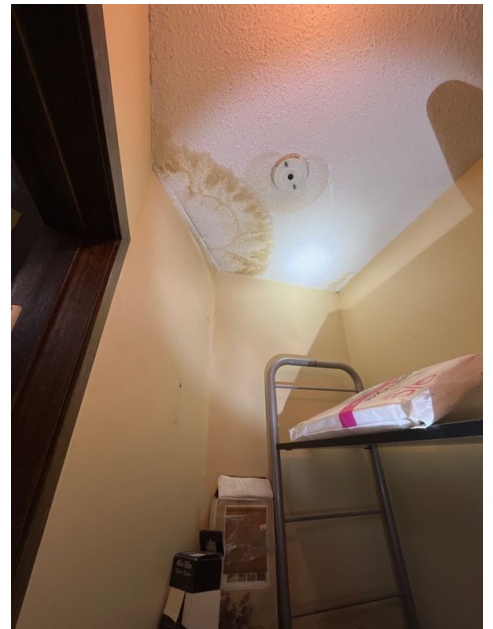
WATER MARKS

SECOND FLOOR STORAGE

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.15.6 Water Marks / Damage

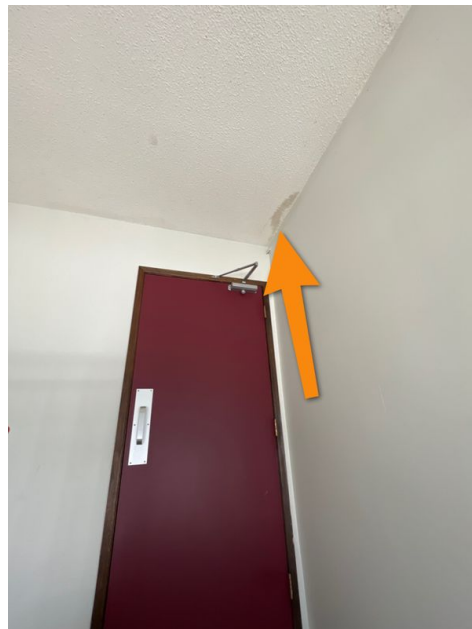
WATER MARKS

NORTH

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.15.7 Water Marks / Damage

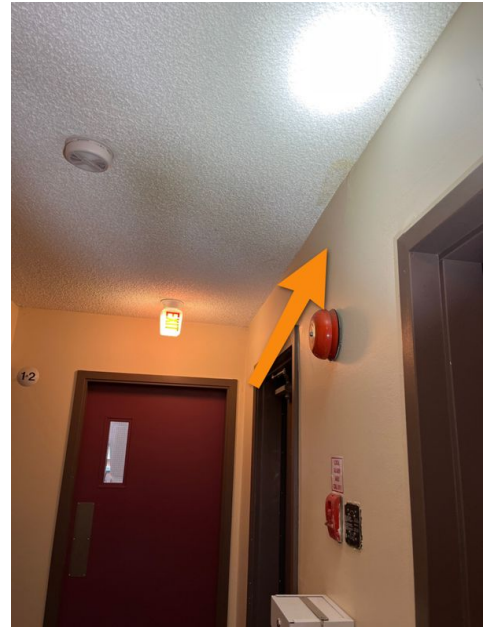
WATER MARKS

FIRST FLOOR COMMON AREA

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.15.8 Water Marks / Damage

WATER MARKS

UNIT 21

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.15.9 Water Marks / Damage

WATER MARKS

SECOND FLOOR COMMON AREA

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



9.16.1 Windows

DAMAGED COMPONENTS

UNIT 32

One or more windows were noted to have damaged components.

Recommendation

Contact a qualified window repair/installation contractor.



9.16.2 Windows

OLDER UNITS

Because some of the windows in the structure are old, and low quality, the potential buyer should budget to replace them over the next few years.

Recommendation

Contact a qualified window repair/installation contractor.



9.16.3 Windows

WATER DAMAGE

UNIT 22

Water damage was noted at one or more windows. It was undetermined if this is a past issue or an ongoing one. With any renovations, rot, mold, and water marks may be found.

Recommendation

Contact a qualified professional.



10: BUILT-IN APPLIANCES

Information

Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 11

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 23

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 12

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 21

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 31

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 33

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 22

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 32

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 42

The oven and stove tops were tested.



Range/Oven/Cooktop: Range / Oven / Cooktop

Unit 43

The oven and stove tops were tested.



Appliances

No warranties are given by the inspector on appliances within the structure as they can fail at any time. No testing of water hook ups to appliances including: water dispensers or ice makers connected to the refrigerators is done. It is recommended that the potential buyer(s) look up the serial numbers of the appliances in the home to ensure no recalls have been made for the units.

Refrigerator: Refrigerator

Unit 22

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.

**Refrigerator: Refrigerator**

Unit 23

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 12

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.

**Refrigerator: Refrigerator**

Unit 33

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 31

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.

**Refrigerator: Refrigerator**

Unit 43

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 21

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.

**Refrigerator: Refrigerator**

Unit 42

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 32

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 11

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Refrigerator: Refrigerator

Unit 41

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Deficiencies

10.6.1 Range/Oven/Cooktop

DAMAGED COMPONENTS

UNIT 32

Some of the components were noted to be damaged.

Recommendation

Contact a qualified appliance repair professional.



10.6.2 Range/Oven/Cooktop

DAMAGED COMPONENTS

UNIT 22

Some of the components were noted to be damaged.

Recommendation

Contact a qualified appliance repair professional.



10.6.3 Range/Oven/Cooktop

DAMAGED COMPONENTS

UNIT 33

Some of the components were noted to be damaged.

Recommendation

Contact a qualified appliance repair professional.



10.6.4 Range/Oven/Cooktop

DAMAGED COMPONENTS

UNIT 31

Some of the components were noted to be damaged.

Recommendation

Contact a qualified appliance repair professional.



11: END OF REPORT

Information

Your Review Helps Certa Immeasurably

Thank you again for allowing our Team to help you in your home buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!



Certa's Mission, Vision, and Values

Mission Statement:

To provide an exemplary home service experience while improving the economic wellbeing and quality of life for all stakeholders.

Vision Statement:

To be Calgary's premiere home inspections company by July 1st, 2028.

Values:

Client Obsession.

Long Term Mindset.

Operational Excellence.

Certa Services and Team Members

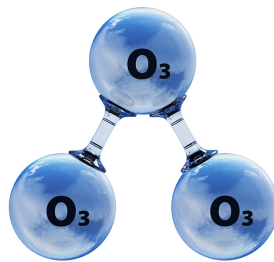
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

Additional Services Offered by Certa:

Sewer Camera Inspections: We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



(Ozone) Odour Removal: Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale "aged" home smells.



WETT Inspections: Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



Air Quality, Mold & Asbestos Testing: Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.



Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.

