



# CERTA PROPERTY INSPECTIONS

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<http://CertaInspections.ca/>



## PROPERTY REPORT

234 Demo Street  
Calgary, AB T4B 1L1

Our Valued Clients

SEPTEMBER 12, 2023



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IMPROVEMENT  
RECOMMENDATIONS



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# 1: INSPECTION DETAILS

## Information

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**Weather Conditions**

Cloudy

**Temperature (approximate)**

16 Celsius (C)

**Your Review Helps Certa Immeasurably**

Thank you again for allowing our Team to help you in your home buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!

**Certa's Mission, Vision, and Values****Mission Statement:**

To provide an exemplary home service experience while improving the economic wellbeing and quality of life for all stakeholders.

**Vision Statement:**

To be Calgary's premiere home inspections company by July 1st, 2028.

**Values:**

Client Obsession.

Long Term Mindset.

Operational Excellence.

## Certa Services and Team Members

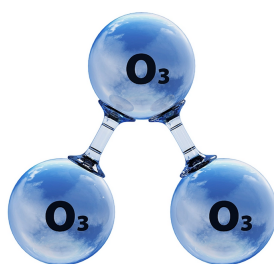
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

### Additional Services Offered by Certa:

**Sewer Camera Inspections:** We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



**(Ozone) Odour Removal:** Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale “aged” home smells.



**WETT Inspections:** Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



**Air Quality, Mold & Asbestos Testing:** Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.





Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.



### Greener Homes Grant

Please be advised that the Federal Government has created an energy efficiency upgrades program called the “Greener Homes Grant” and you can learn about the \$5,000 grant by visiting this url: <https://www.nrcan.gc.ca/energy-efficiency/homes/canada-greener-homes-grant/23441>

**Applications for this program end in March of 2024**

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### City of Calgary Permit URL: Calgary Permits

The following link will indicate all permits for dwellings in the city of Calgary.

<https://maps.calgary.ca/myProperty/>

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## City of Calgary Secondary Suites Registry: City of Calgary Secondary Suites Registry

The following URL is a registry that the public can navigate to determine if a secondary suite is registered with the city of Calgary.

<https://secondariesuites.calgary.ca/>

## 2: EXTERIOR

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### Information

#### Gas Meter: Gas Meter

If the building occupants ever detect the smell of natural gas, they should vacate the premises immediately and call the proper authorities outside of the structure.



## GFCI : GFI - Exterior

The Ground Fault Circuit Interrupter (GFCI) receptacles at the exterior were inspected.

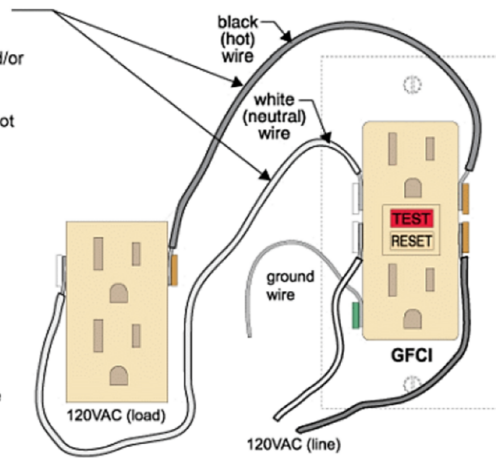
### Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

#### note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock

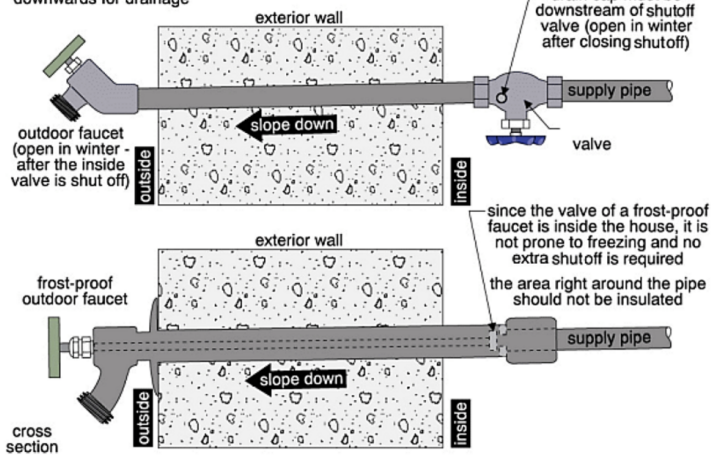


## Hose Bib: Hose Bib System

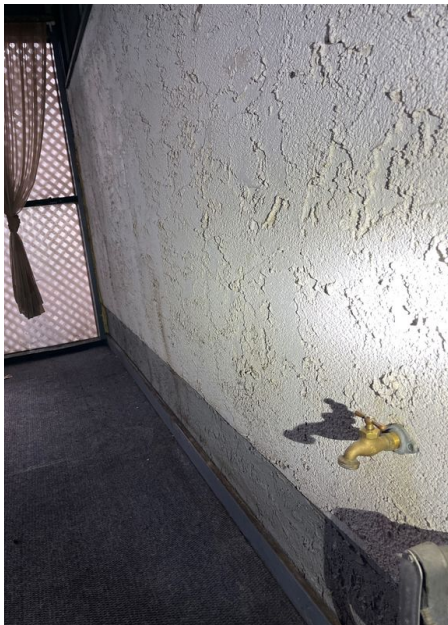
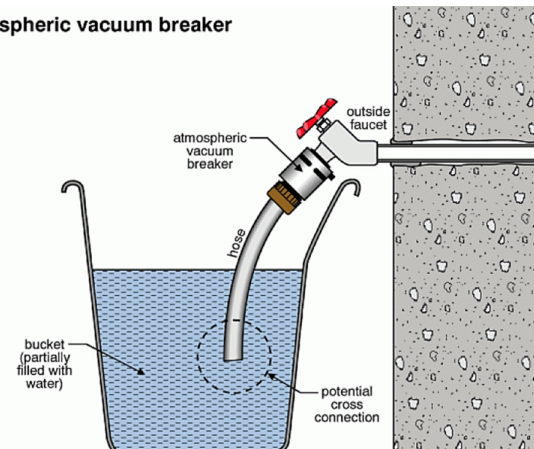
The hose bib system was inspected. It is recommended to shut off the supply lines where possible and remove any hoses attached to the bib during the winter months. It should be noted that any leaks that may be present at the stem or supply line in the wall cannot be inspected.

### Shutoff valves for outside faucets

piping/faucets downstream of the shutoff valve should be sloped downwards for drainage

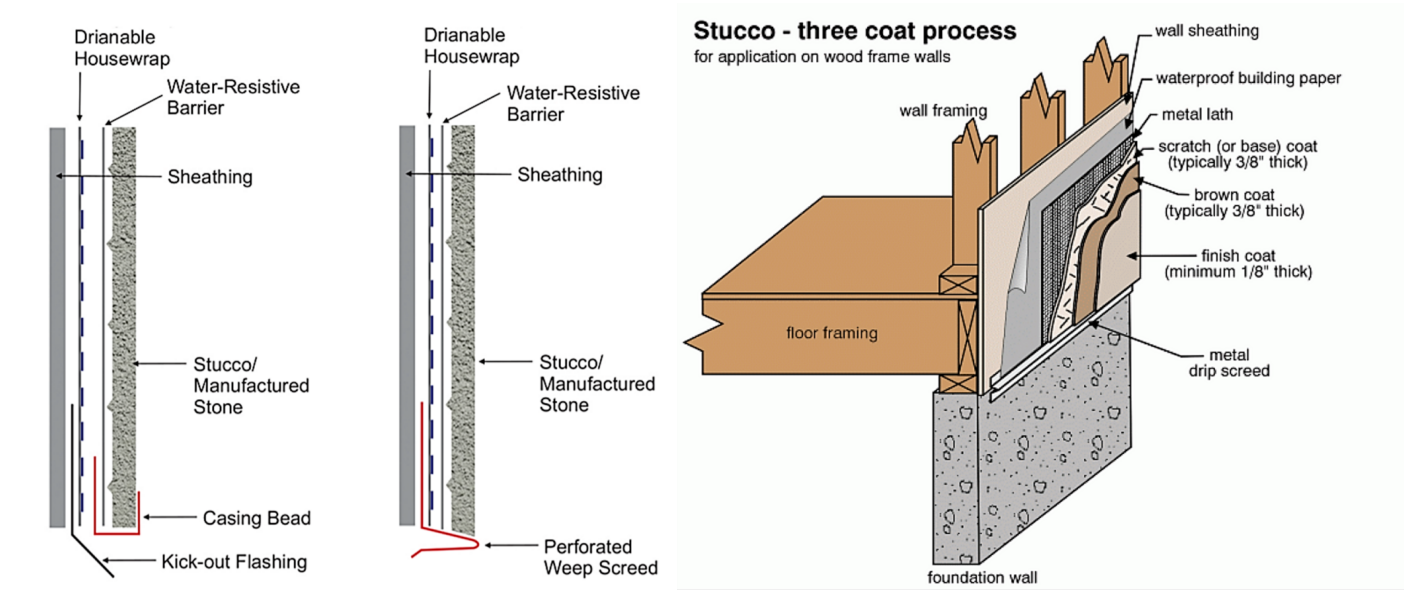


### Atmospheric vacuum breaker



Siding : Stucco Detail

This schematic shows a typical installation for stucco siding and may not represent the exact installation found at the structure. This is for informational purposes only.



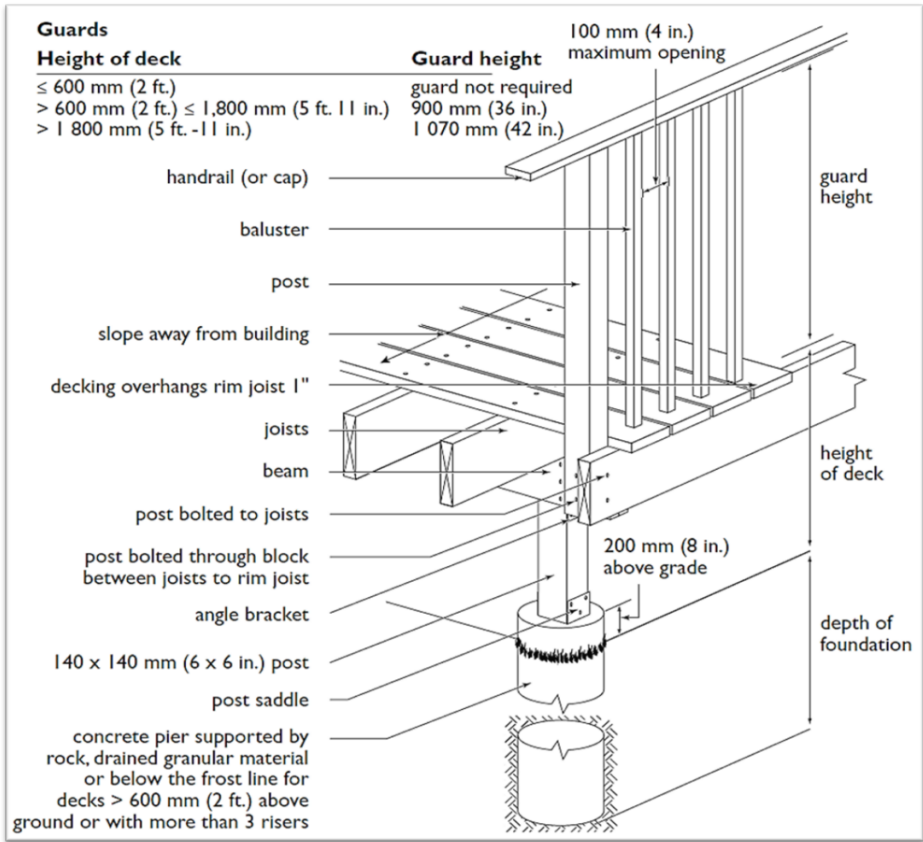
Limitations

Deck(s)  
**UNKNOWN FOOTINGS**





Structures over 24" in height should have 10" (diameter) concrete pilings that extend below the frost line. At the time of the inspection, it was undetermined if these pilings existed with the structure. This should be further inspected and corrected if needed.



Deck(s)

**LIMITED OR NO ACCESS**

Due to the limited access, the inspector was unable to inspect below the structure.

Structures over 24" in height should have 10" (diameter) concrete pilings that extend below the frost line. At the time of the inspection, it was undetermined if these pilings existed with the structure. This should be further inspected and corrected if needed.



Wood Products

**UNKNOWN SECUREMENT**

Due to the building products, it was undetermined how the structure is secured. This should be further investigated.



## Deficiencies

### 2.7.1 Deck(s)

#### **CANTILEVER TOO GREAT**

The maximum allowable cantilever is 24". This should be corrected by a qualified carpenter.

##### Recommendation

Contact a qualified carpenter.



### 2.7.2 Deck(s)

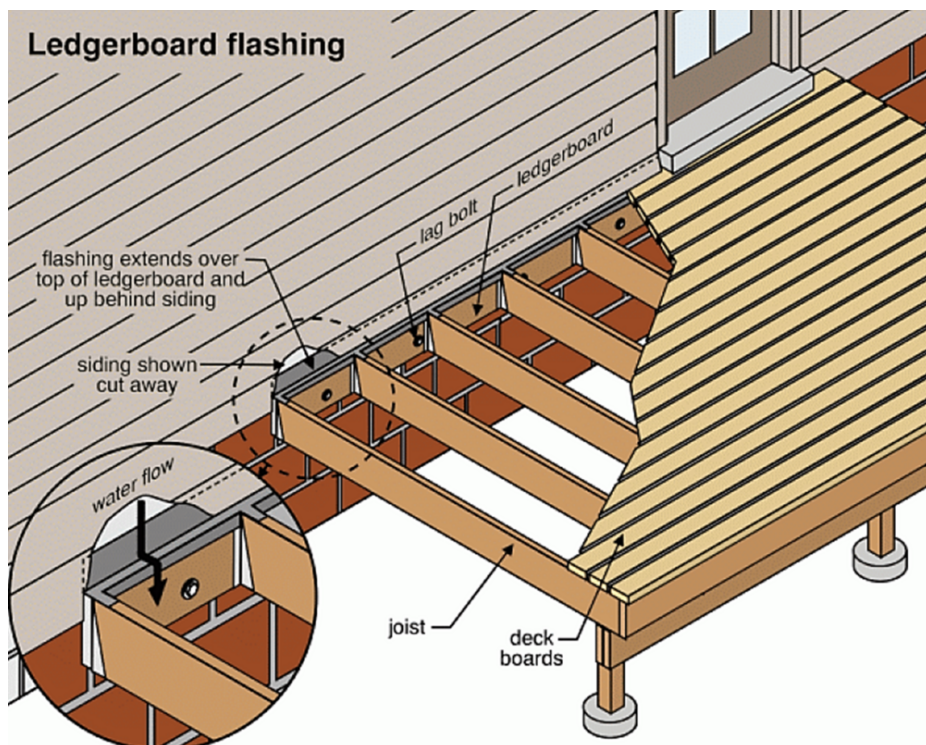
#### **DRIP EDGE NOT FOUND AT LEDGER BOARD**

No drip edge was found between the deck and the dwelling. This should be added, if missing, as it helps to keep moisture from entering the building envelope.

##### Recommendation

Contact a qualified carpenter.





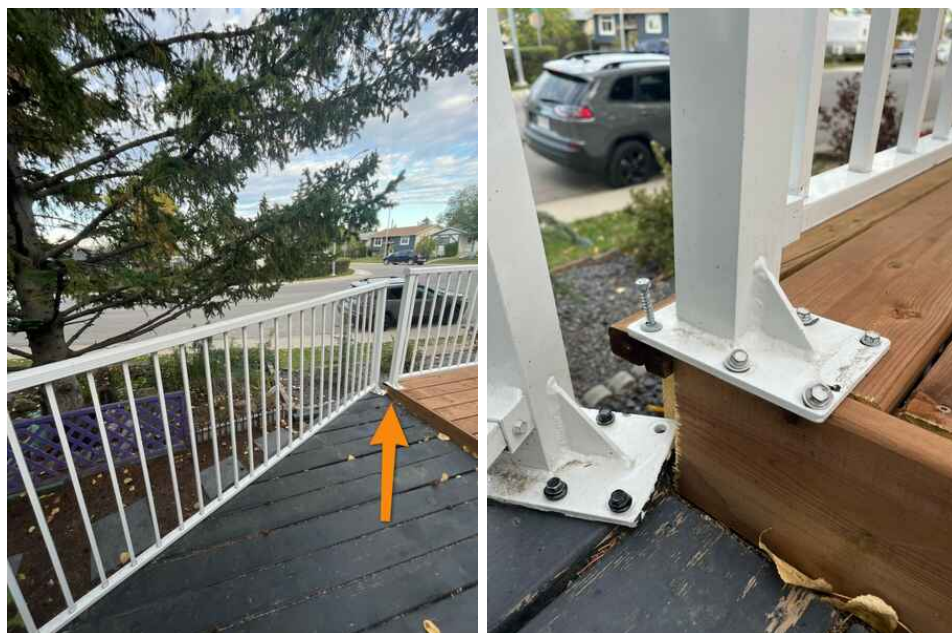
### 2.7.3 Deck(s)

#### **HANDRAIL LOOSE**

One or more handrails were noted to be loose and should be better secured by a qualified professional.

Recommendation

Contact a qualified carpenter.

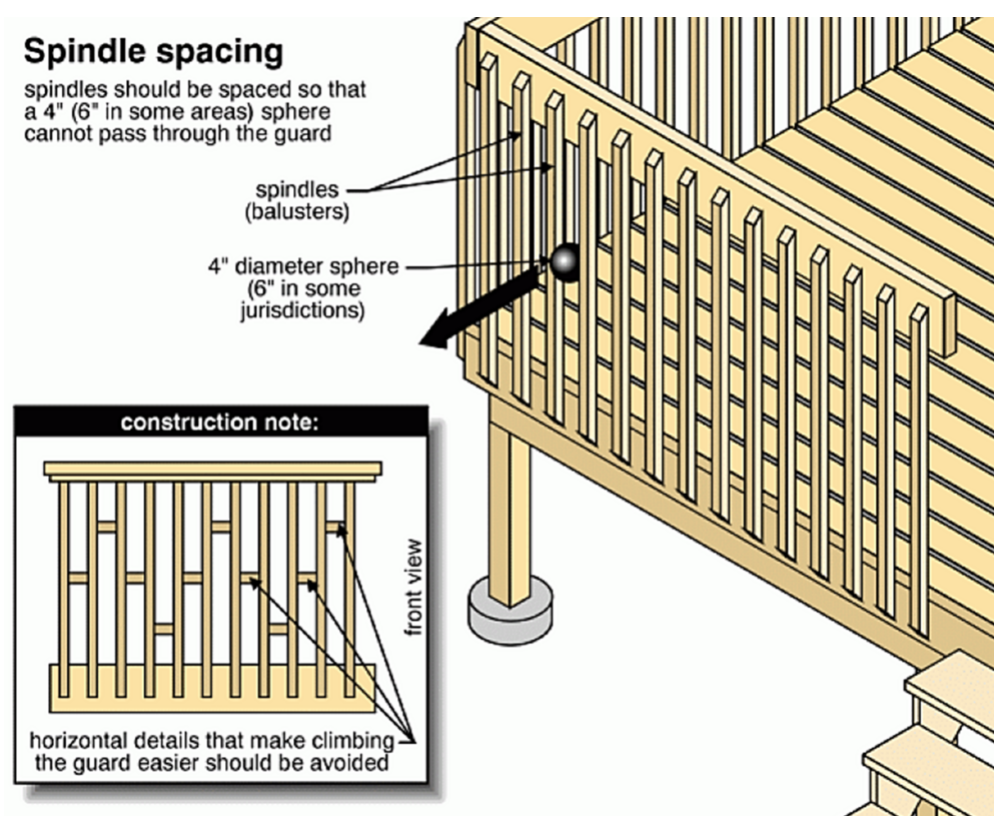


### 2.7.4 Deck(s)

#### **HANDRAILS RECOMMENDED**



Structures over 24" in height should have handrails and balusters to help prevent falling incidents.



Recommendation  
Contact a qualified carpenter.



### 2.7.5 Deck(s)

#### **POOR SHIMMING PRACTICE**

Poor shimming methods were noted for the structure. It is recommended to use steel shims.

Recommendation

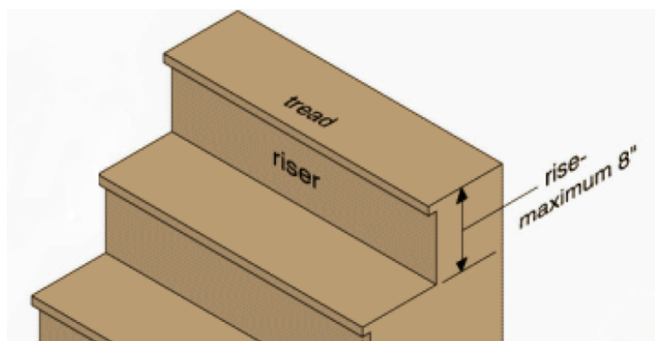
Contact a qualified carpenter.



#### 2.7.6 Deck(s)

##### **RISER HEIGHT TOO TALL**

The maximum allowable riser height for stairs is 8".



Recommendation

Contact a qualified carpenter.



#### 2.7.7 Deck(s)

##### **ROT**

Some rot was noted at the structure. It is recommended to replace the affected materials with rot resistant components.

Recommendation

Contact a qualified carpenter.





### 2.7.8 Deck(s)

#### UNCONVENTIONAL FRAMING METHODS

Unconventional framing methods were noted with the structure. Typically the size of the joists match the size of the ledger board.

Recommendation

Contact a qualified carpenter.



### 2.7.9 Deck(s)

#### UNEQUAL RISER HEIGHT

Riser height should be within  $\frac{1}{4}$  -  $\frac{3}{8}$ " on steps to prevent tripping accidents.

## Recommendation

Contact a qualified carpenter.



## 2.8.1 Door(s)

**ADJUSTMENT / SERVICING NEEDED**

One or more doors require adjustment / servicing.

## Recommendation

Contact a qualified professional.



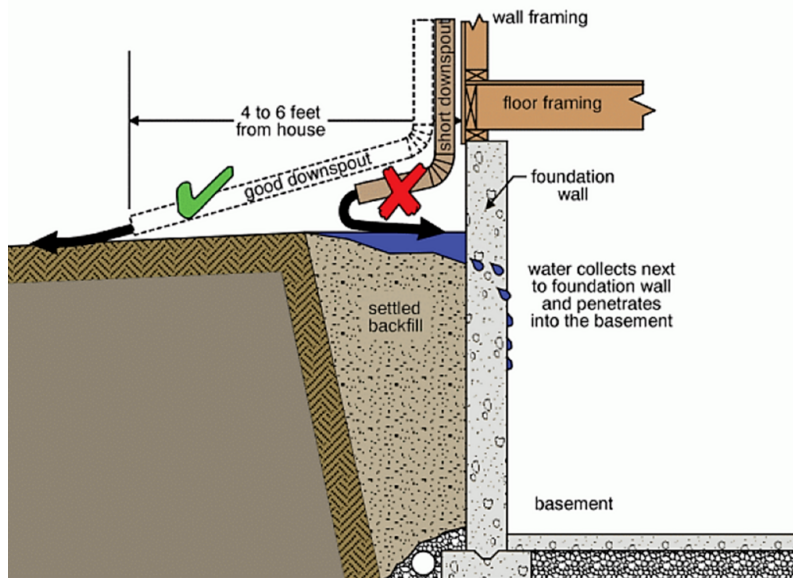
## 2.9.1 Downspouts / Gutters

**DRAIN NEAR STRUCTURE**



Downspouts should always be deployed to aid in water expulsion away 6 feet from the structure. Downspout extensions should be secured to downspouts and extended away from the building. This helps to prevent water migrating into the building. Downspouts should be checked for leaks and sealed or replaced if found.

#### Downspout extension too short



#### 2.11.1 Dryer Vent

##### **SCREEN ON VENT**

Screens should not be installed on dryer vent lines.

Recommendation

Contact a qualified appliance repair professional.



#### 2.14.1 Fence

##### **LEANING**

One or more areas of the fence line were noted to be leaning. It is recommended that a qualified contractor repairs this.

Recommendation

Contact a qualified carpenter.



#### 2.14.2 Fence

##### **ROT**

Rot was noted in several areas of the fence line. It is recommended to budget for replacement components.

Recommendation

Contact a qualified carpenter.



#### 2.17.1 Fresh Air Intakes

##### **GROUND CLEARANCE**

Fresh air intakes should be 12" or above the anticipated snow accumulation levels. This should be corrected by a qualified HVAC professional.

Recommendation

Contact a qualified HVAC professional.



#### 2.17.2 Fresh Air Intakes

##### **UNSEALED OPENING(S)**

Fresh air intakes should be sealed against vermin.

Recommendation

Contact a qualified professional.





#### 2.20.1 GFCI

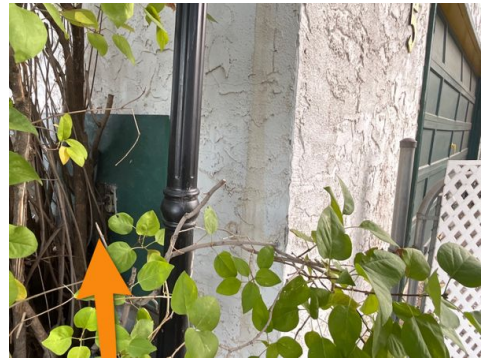
### **COVER PLATE(S) MISSING OR DAMAGED**

It is recommended to have functioning cover plates for junction boxes and switches. Extra Duty in use types of covers are recommended.



Recommendation

Contact a handyman or DIY project

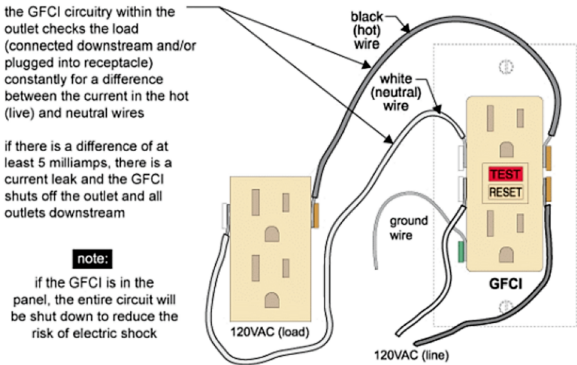


#### 2.20.2 GFCI

### **NO GFCI**

It is recommended that GFI protected receptacles be installed within 6 feet of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

**Ground fault circuit interrupter**  
also known as ground fault interrupter (GFI)



Recommendation  
Contact a qualified electrical contractor.

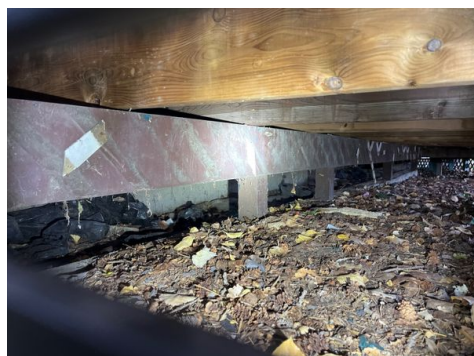
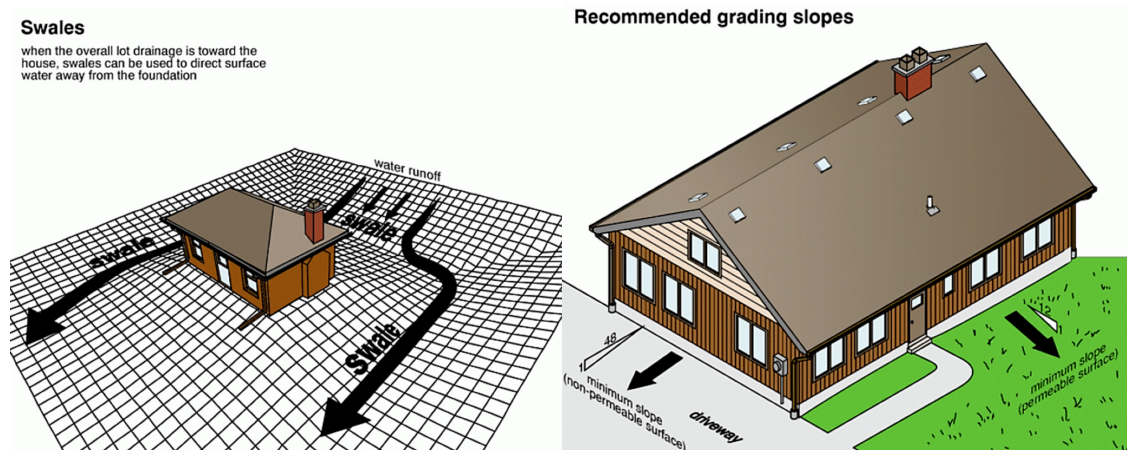


2.21.1 Grading  
**POOR GRADING**  
FRONT OF HOME



It is recommended that the grading around the structure be positive; meaning that it should slope away. This helps prevent water penetration into the structure. Fill areas that have settled next to the structure with clay—not topsoil— with a positive slope away from the structure (10 per cent is recommended). It should be noted that rock, gravel, mulch, etc. drains water down the exterior wall and not away. It is unknown what the grading is below these materials.

[Here is a helpful article](#) discussing negative grading.



### 2.31.1 Siding

#### **CRACKS IN STUCCO**

Some cracks in the stucco were found at the exterior walls of the structure. All cracks and openings should be sealed and monitored for further expansion as they may indicate an ongoing issue.

#### Recommendation

Contact a qualified siding specialist.





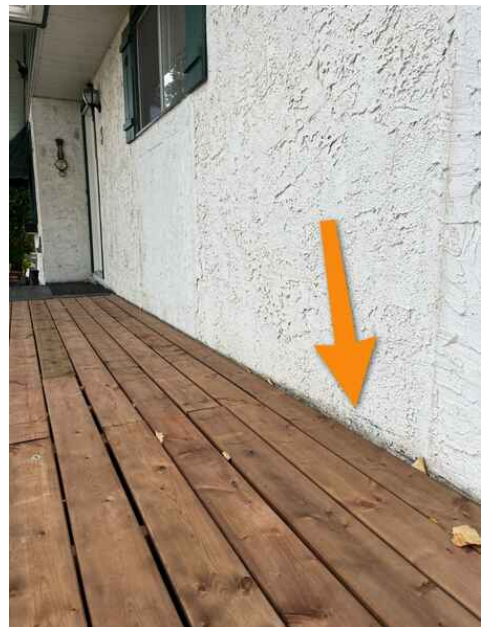
### 2.31.2 Siding

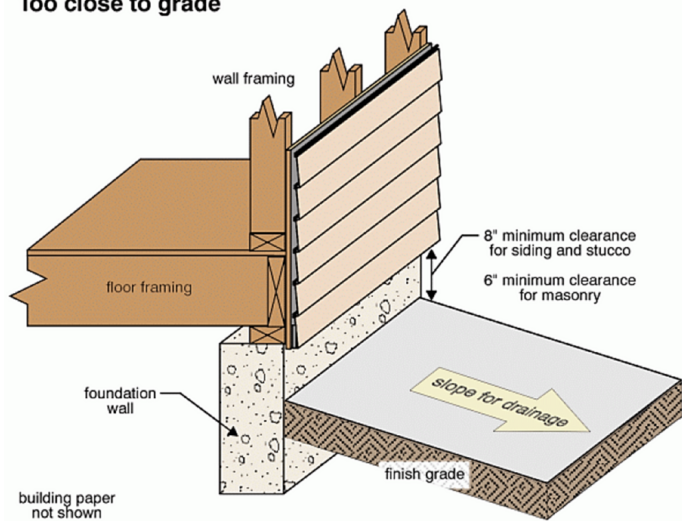
#### **GROUND CLEARANCE**

It is recommended to have a minimum 6" clearance between siding and the grading of the structure to allow the air to wick away any water on the exterior wall. Siding that is adversely affected by moisture requires 8" clearance from grade. In addition, this helps mitigate damaging the siding from freezing water.

Recommendation

Contact a qualified siding specialist.



**Too close to grade**

## 2.31.3 Siding

**MISSING FLASHING - SUBSTRATE**

It is recommended to install drip edge flashing when there is a change in cladding substrate.

## Recommendation

Contact a qualified siding specialist.



## 2.31.4 Siding

**UNSEALED OPENINGS**

It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure.

## Recommendation

Contact a qualified siding specialist.





#### 2.37.1 Termination Vent

##### **DAMAGE / NOT SEALED**

One or more vents were noted to be damaged or improperly sealed. This should be corrected to keep the weather and vermin out.

##### Recommendation

Contact a qualified professional.



#### 2.38.1 Vegetation

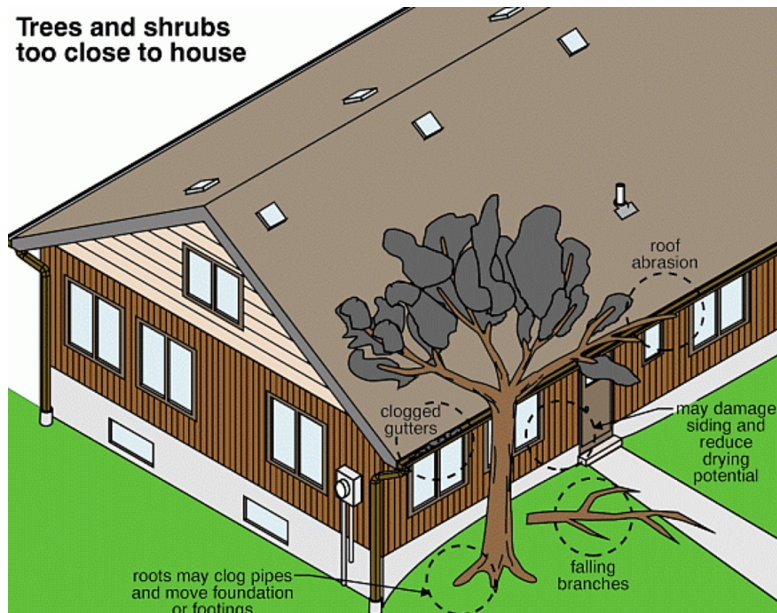
##### **VEGETATION TOO CLOSE**

Trees and shrubs should be kept away from structures as they can damage them. In addition, vegetation gives off lots of moisture and often harbours critters.

##### Recommendation

Contact a handyman or DIY project

### Trees and shrubs too close to house

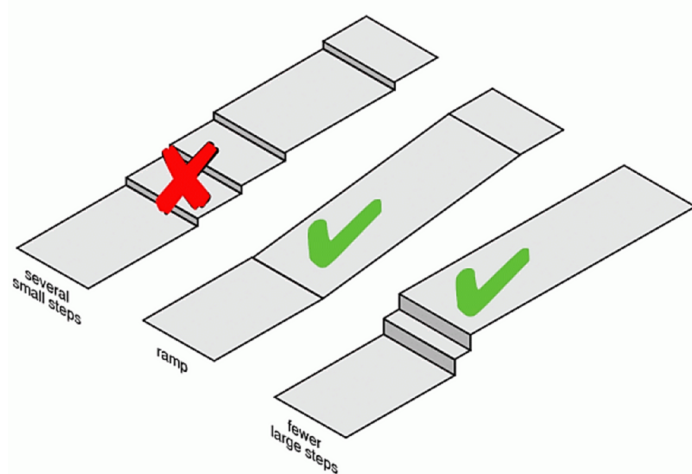


#### 2.40.1 Walkway(s)

### UNEVEN WALKWAY

It is recommended to have level walkways to prevent tripping hazards.

#### Walkway steps



#### Recommendation

Contact a qualified landscaping contractor



#### 2.42.1 Wood Products

### MAINTAIN WOOD PRODUCTS

It is recommended to maintain exterior wood products on a regular basis; this consists of removing old and damaged paint / stain, priming and reapplying new products. This will prolong the lifespan of the wood product.

#### Recommendation

Contact a qualified handyman.





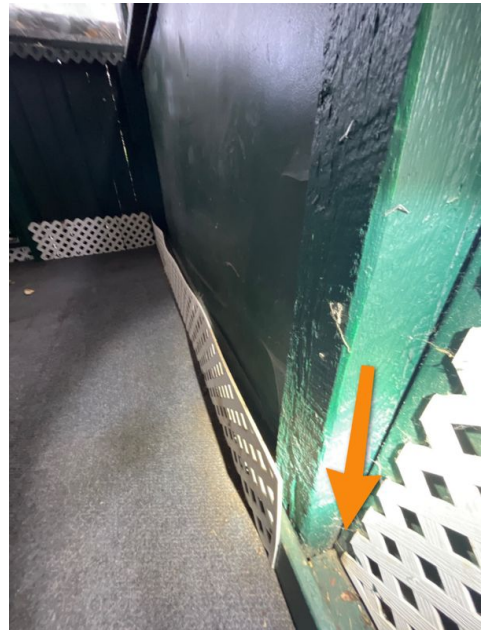
#### 2.42.2 Wood Products

##### **ROT**

Rot was noted with some of the components. It is recommended to budget for replacements.

Recommendation

Contact a qualified carpenter.



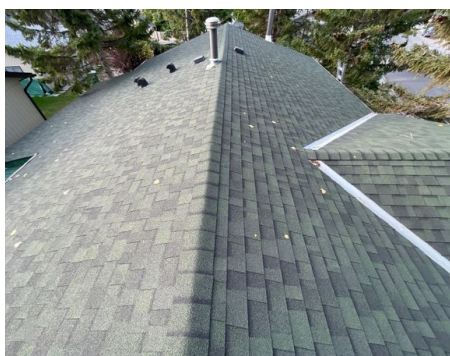
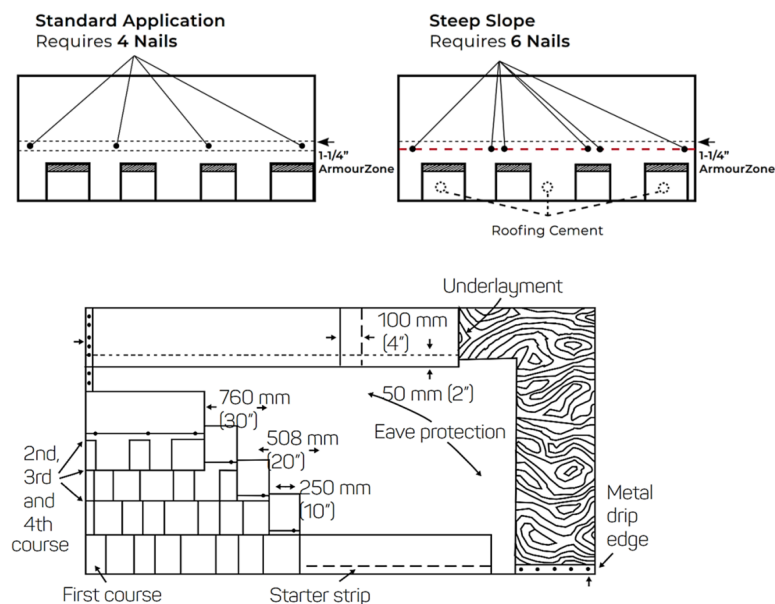
### 3: ROOF

#### Information



## Coverings: Asphalt Shingles - Laminated

The roof was inspected. It should be noted that sloped roofs are designed to be "water shedding" and NOT waterproof. Thus, as the roof covering material deteriorates; its water shedding capabilities diminish. In addition, south western exposures, along with valleys, often degrade roof covering material more readily due to the sun exposure. It is recommended to install metal "W" valleys with the next roofing if valleys are present on the roof line.



## Deficiencies

### 3.1.1 Chimneys

#### SEALANT MISSING / DETERIORATED

It is recommended to seal openings to keep the weather out.

Recommendation

Contact a qualified professional.



## 3.3.1 Downspouts / Gutters

**GUTTERS MISSING**

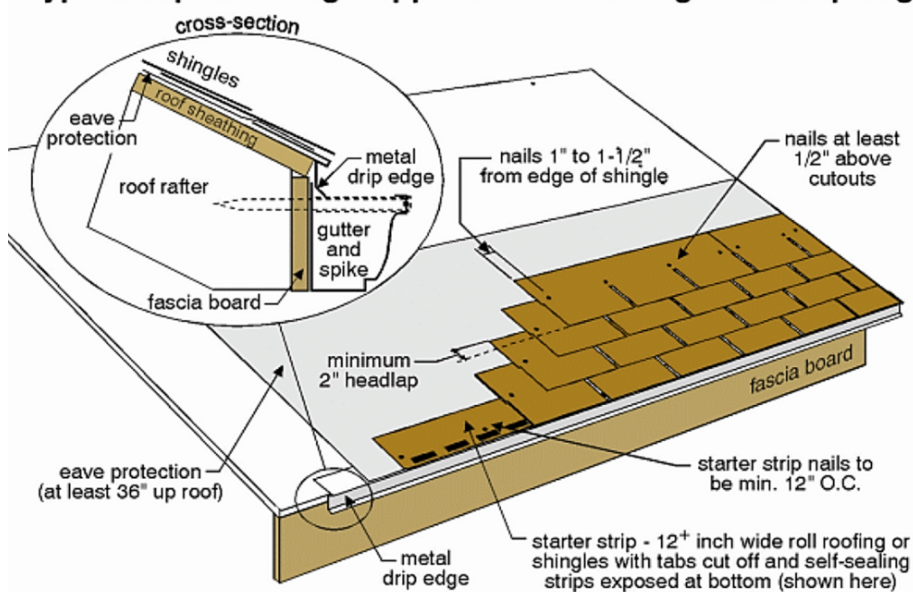
One or more areas were noted to be missing gutters on the structure. Gutters are recommended because they collect rain water from the roof and direct it away from the building.



## 3.4.1 Flashings

**DRIP EDGE NOT INSTALLED**

Drip edges were missing on the roof line. This should be added as it helps to prevent water migrating up and underneath the roof covering material and rotting out the sheathing below.

**Typical asphalt shingle application - showing metal drip edge**

## Recommendation

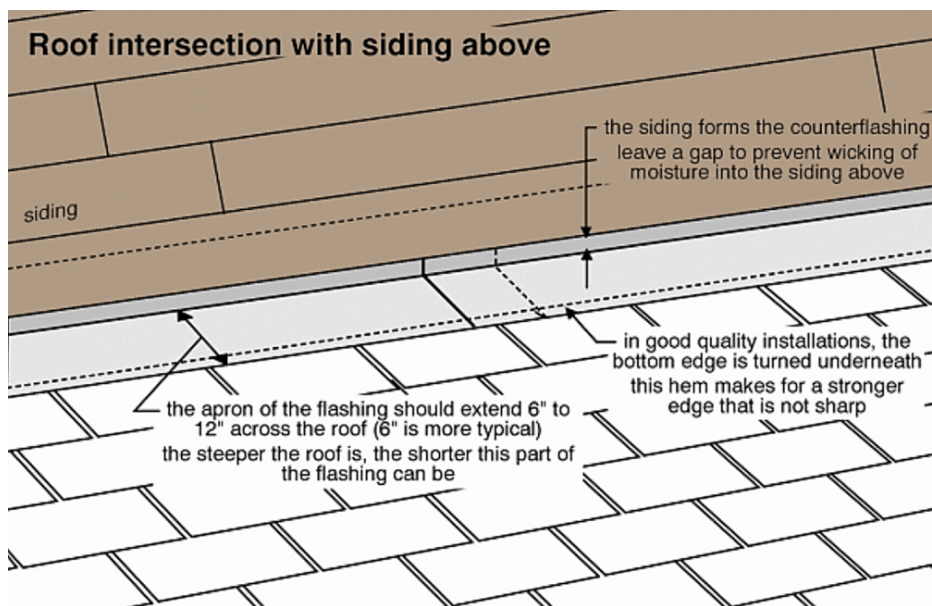
Contact a qualified roofing professional.

## 3.4.2 Flashings

**WALL FLASHING MISSING**



No step flashing was noted. This should be added to prevent water intrusion into the structure.



#### Recommendation

Contact a qualified roofing professional.

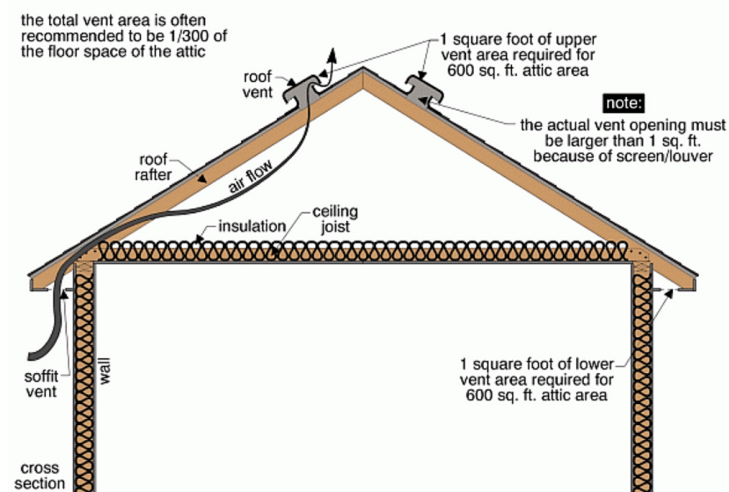


#### 3.7.1 Roof Vents

### ADDITIONAL ROOF VENTILATION RECOMMENDED

It is recommended that when future roof upgrades / replacements are completed; to add additional roof vents. Proper venting helps to prolong the lifespan of roof covering material; high temperatures deteriorate the life span of most roof covering materials.

#### Recommended amount of attic ventilation



#### Recommendation

Contact a qualified roofing professional.



## 4: GARAGE

### Information

---

#### Attic: Inspected

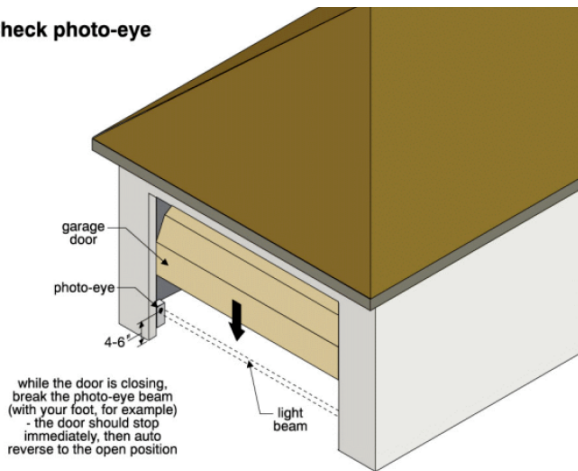
The attic was inspected.



## Garage Door: Garage Door Operation

The vehicle door system was tested for dual sensors; laser eye beams and negative pressure. It is recommended to reprogram the remotes after purchasing the home. It is recommended every 6 months to lubricate all moving parts with a silicon spray.

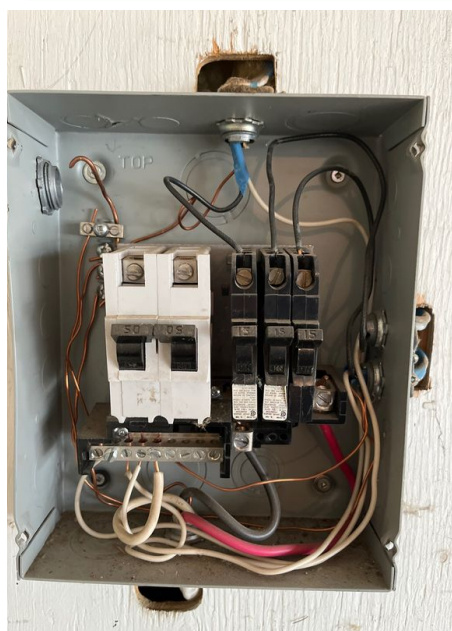
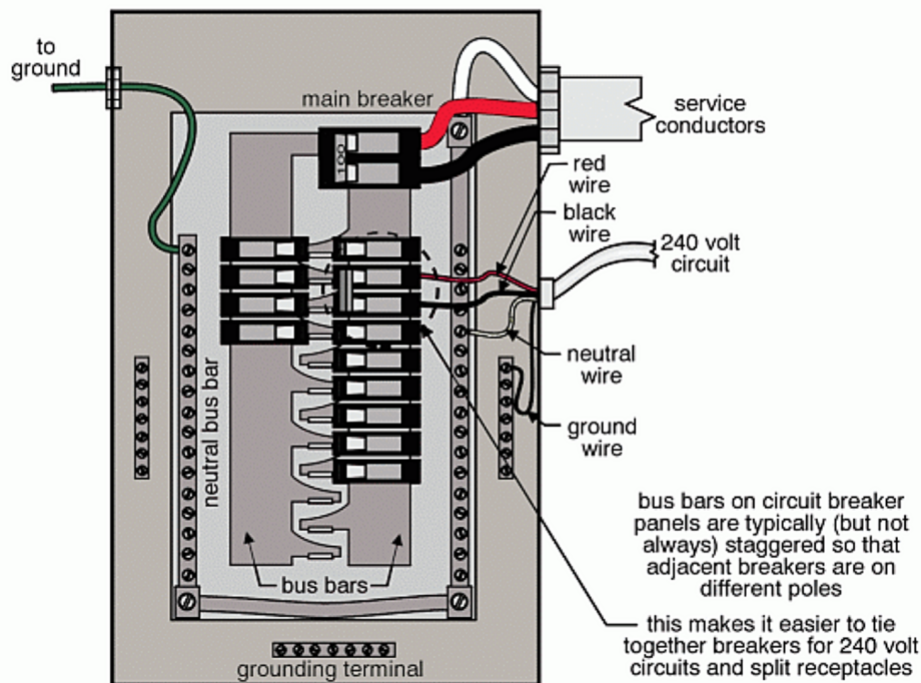
### Check photo-eye



## Sub Panel: Panelboard

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

### Staggered bus bars on circuit breaker panels



## Deficiencies

### 4.3.1 Conductors

#### EXPOSED TO DAMAGE

Conductors should be protected from damage.

Recommendation

Contact a qualified electrical contractor.





#### 4.7.1 Exterior Doors

##### **DRIP EDGE MISSING**

It is recommended to have drip edges above all doors and windows to prevent water migration behind the component. Caulking is an alternative however will need to be replaced every few years.

##### **Recommendation**

Contact a qualified door repair/installation contractor.



#### 4.8.1 Flashings

##### **POOR INSTALLATION**

Flashing should be let into side walls to prevent water intrusion. Multiple gaps were noted at the roof flashing for the structure.

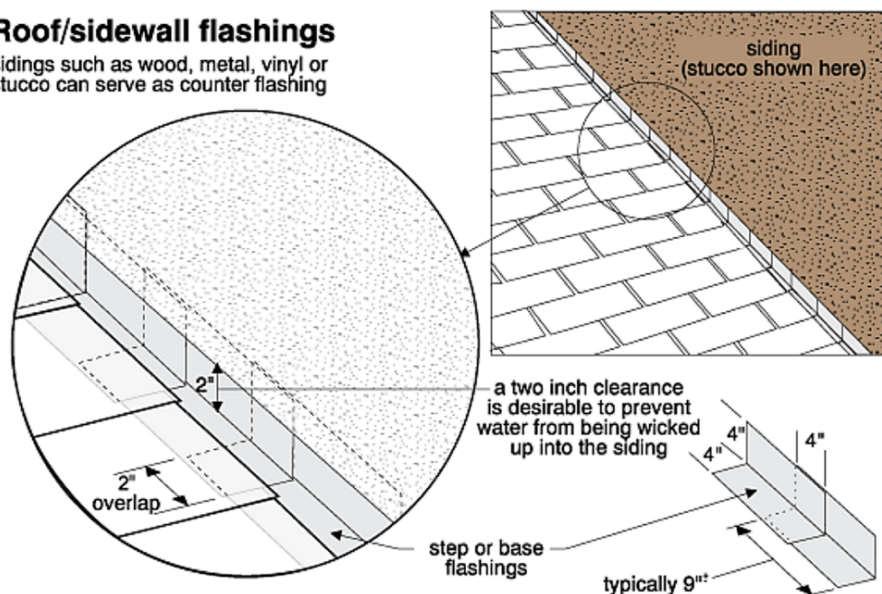
##### **Recommendation**

Contact a qualified roofing professional.



### Roof/sidewall flashings

siding such as wood, metal, vinyl or stucco can serve as counter flashing



#### 4.9.1 Floor

### TYPICAL CRACKS

Typical cracks and spalling were noted on the garage concrete slab. It is recommended to seal these areas to prevent further deterioration.

Recommendation

Contact a qualified driveway contractor.



#### 4.9.2 Floor

### SLOPED

The slab was noted to slope towards the dwelling. It is recommended to have this levelled to prevent water intrusion into the dwelling.

Recommendation

Contact a qualified professional.



#### 4.11.1 Garage Door

##### **WEATHER STRIPPING**

Some of the weather stripping is deteriorating or missing and should be serviced.

Recommendation

Contact a qualified professional.



#### 4.17.1 Man Door

##### **OPENINGS**

It is recommended to seal the openings at exterior doors to keep the weather out.

Recommendation

Contact a qualified professional.





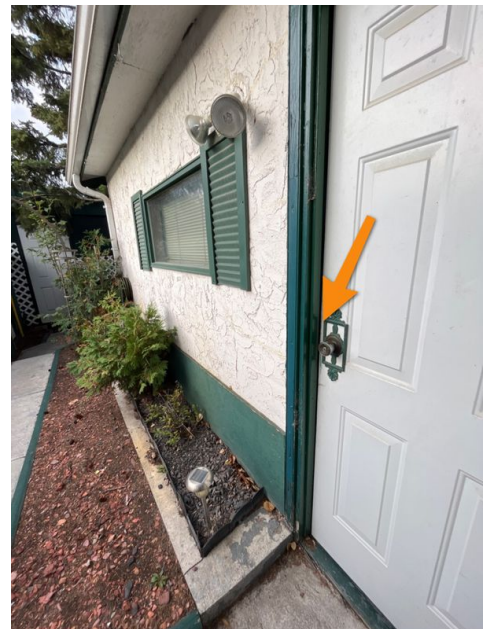
#### 4.17.2 Man Door

### **HARDWARE MISSING**

It is recommended to install a deadbolt for the door.

Recommendation

Contact a qualified professional.



#### 4.17.3 Man Door

### **ROT**

Rot was noted in one or more areas. It is recommended to budget to replace the affected components with rot resistant materials. With any renovations, additional water damage may be found.

Recommendation

Contact a qualified professional.





#### 4.23.1 Roof Vents

##### **BLOCKED**

Soffit vents should not be blocked to allow for air flow.

Recommendation

Contact a qualified professional.



#### 4.23.2 Roof Vents

##### **MISSING**

It is recommended to install roof vents.

Recommendation

Contact a qualified roofing professional.



#### 4.24.1 Siding

##### **CRACKS IN STUCCO**

Some cracks in the stucco were found at the exterior walls of the structure. All cracks and openings should be sealed and monitored for further expansion as they may indicate an ongoing issue.

Recommendation

Contact a qualified siding specialist.



#### 4.24.2 Siding

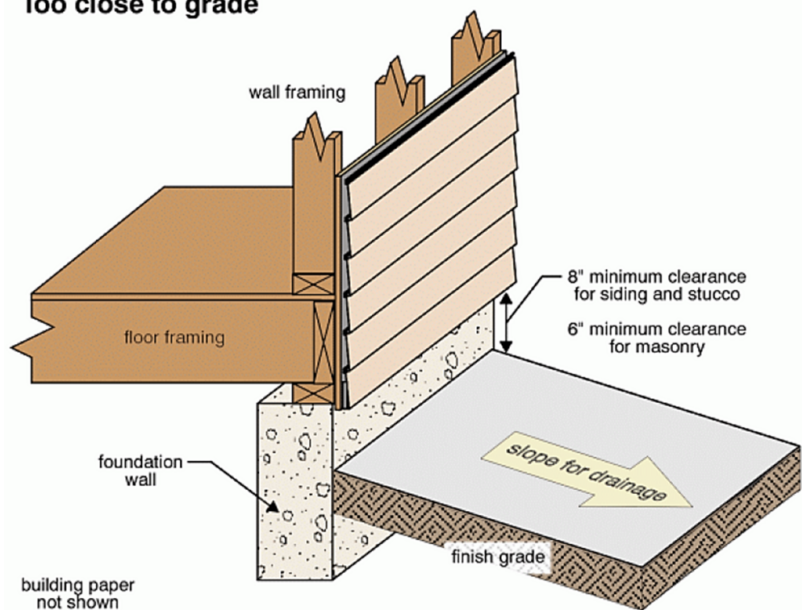
##### **GROUND CLEARANCE**

It is recommended to have a minimum 6" clearance between siding and the grading of the structure to allow the air to wick away any water on the exterior wall. Siding that is adversely affected by moisture requires 8" clearance from grade. In addition, this helps mitigate damaging the siding from freezing water.

Recommendation

Contact a qualified siding specialist.



**Too close to grade**

## 4.25.1 Junction Box

**POOR SECUREMENT**

Junction boxes should be properly secured and sealed.

Recommendation

Contact a qualified professional.



## 4.30.1 Sub Panel

**KNOCKOUTS MISSING**

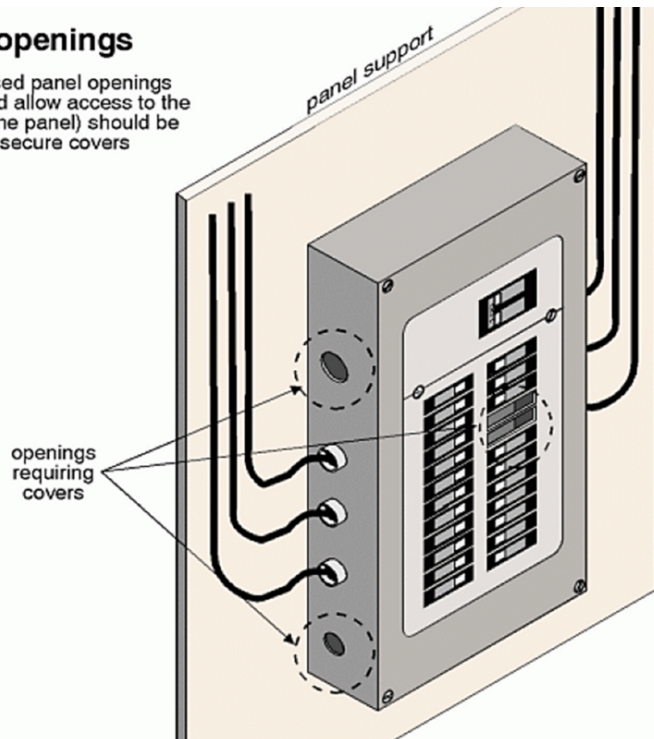
All knockout holes should be covered if not in use. This prevents objects from entering the component, in addition to providing safety for the occupants of the structure.

Recommendation

Contact a qualified electrical contractor.

## Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers

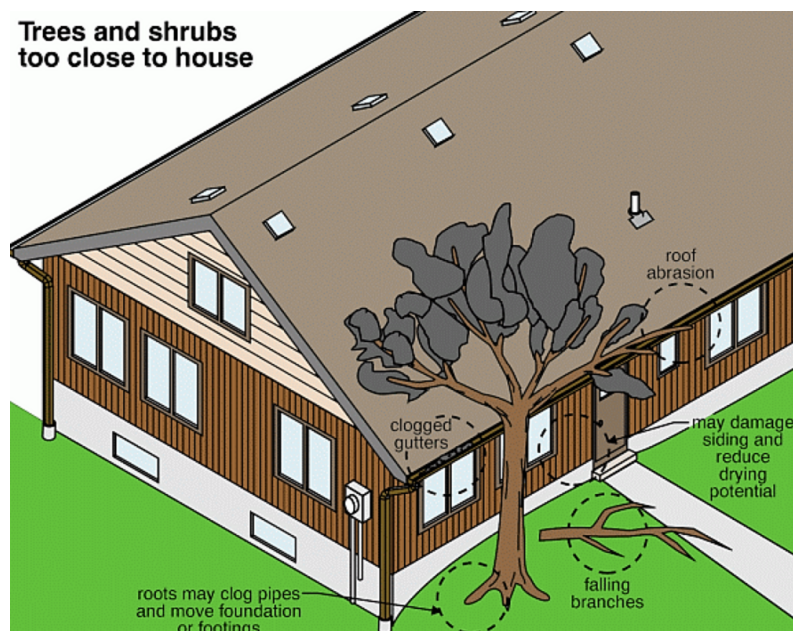


### 4.31.1 Vegetation

## VEGETATION TOO CLOSE

Trees and shrubs should be kept away from structures as they can damage them. In addition, vegetation gives off lots of moisture and often harbours critters.

### Trees and shrubs too close to house



### Recommendation

Contact a handyman or DIY project

### 4.33.1 Water marks

## WATER MARKS



Water marks were noted in one or more areas of the structure. It is recommended to inquire on the history of the event(s).

Recommendation

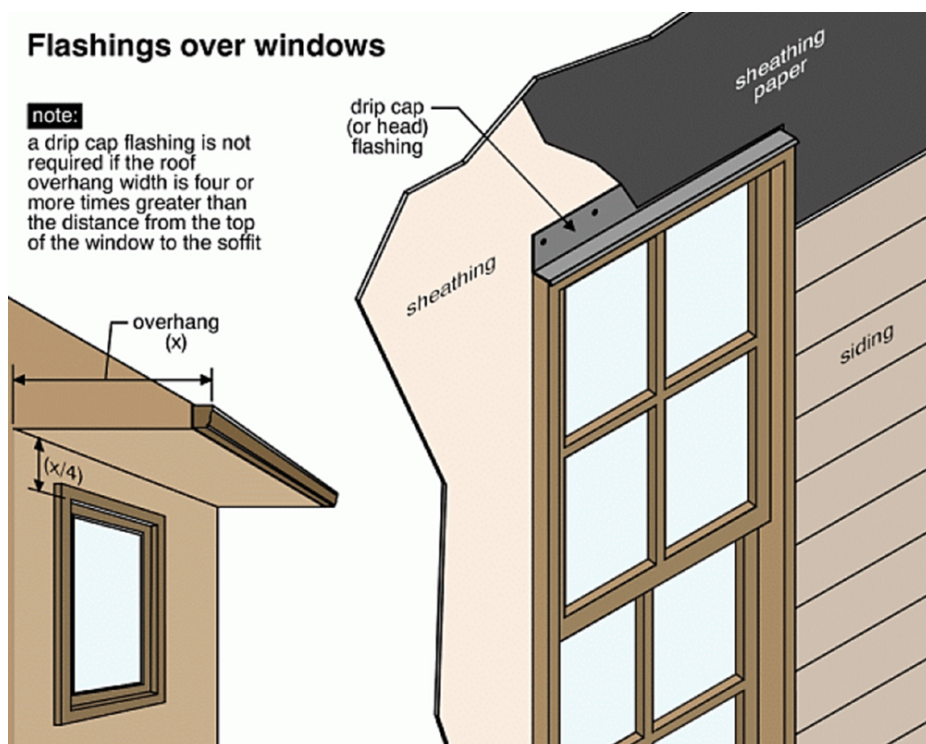
Contact a qualified professional.



#### 4.34.1 Windows

### MISSING DRIP EDGE FLASHING - WINDOWS

It is recommended to have drip edges above and below all doors and windows to prevent water migration behind the components.



Recommendation

Contact a qualified siding specialist.



## 5: HEATING

Information

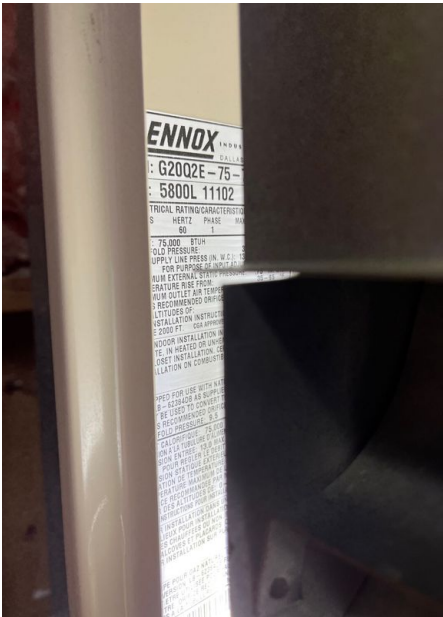
Main Heat Source: Age

Years Old: 23

Main Heat Source: Location of

Thermostat(s)

Main Floor

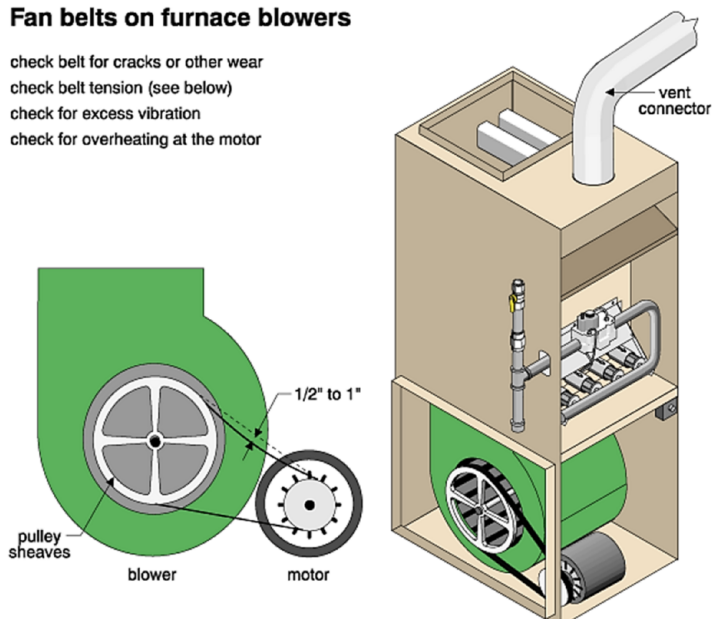


## Main Heat Source: Forced Air Furnace - Category 1

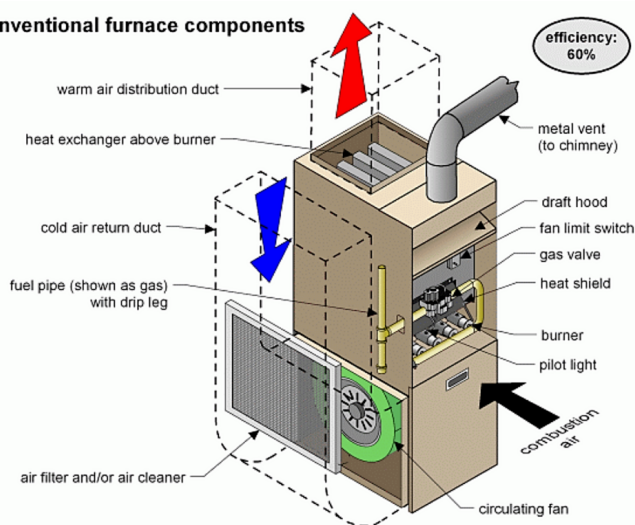
The forced air heating system was inspected. It is recommended to have these units serviced every 3 years, depending on use. Furnace filters should be checked on a monthly basis and replaced when needed. Proper insertion of the filter directs the arrow on the filter towards the furnace blower. Unless the occupants of the structure suffer from allergens, it is recommended to use thin filters which create less strain on the furnace unit than thicker filters. If an AC unit is present, it is vital to use thin filters as thick ones may ice up further restricting the air flow.

### Fan belts on furnace blowers

check belt for cracks or other wear  
check belt tension (see below)  
check for excess vibration  
check for overheating at the motor



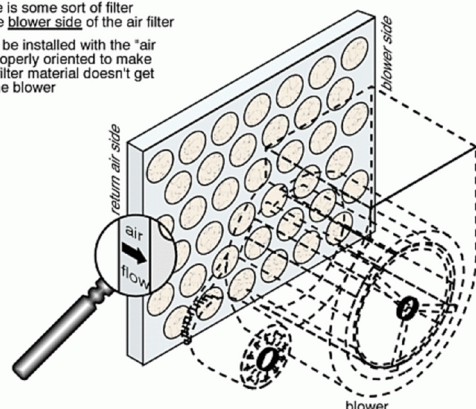
### Conventional furnace components



### Air filter orientation

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower







## Limitations

Main Heat Source

### BASIC FUNCTIONS

It should be noted that a basic function of thermostats / operation of the HVAC system is performed. Hi Limit / Fan switches etc. are not tested.

Main Heat Source

### DID NOT ENGAGE

The following heat source did not engage when tested. When there was a call for heat (thermostat was increased), the electronic spark igniter turned on and a pilot flame was lit. However, beyond this, the main burners did not engage. The furnace did not engage to produce heat for the purpose of heating the dwelling. This should be further investigated.



## Deficiencies

5.5.1 Distribution Systems

### DEBRIS IN SYSTEM

Debris was found in the duct work. These should be cleaned every 3-5 years depending on use. Dirty duct work can affect the quality of air in the structure resulting in allergy like symptoms.

Recommendation

Contact a qualified HVAC professional.



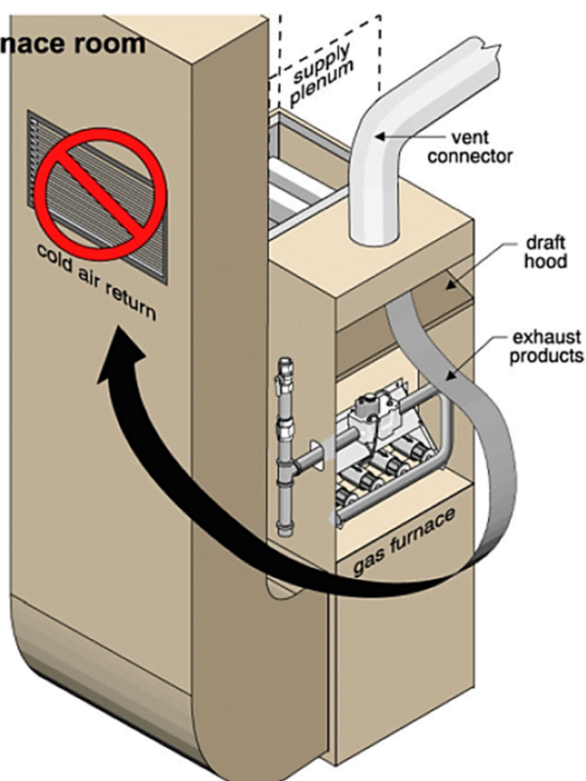
### 5.5.2 Distribution Systems

#### RETURN AIR DUCT IN MECHANICAL ROOM

Return air grills should not be located on the return plenums in mechanical rooms.

##### Return grille in furnace room

a return grille in the furnace room can allow the furnace blower to pull exhaust products out of the draft hood into the house air stream  
this can be a life safety issue



Recommendation

Contact a qualified HVAC professional.

5.12.1 Venting  
**MISSING FRESH AIR**

No combustion air pod was found in the mechanical room. This is likely due because it was not required when the dwelling was constructed. It is recommended to install one to prevent back drafting. If the furnace is to be replaced, a direct vented unit will be installed thus not requiring dedicated combustion air.

Recommendation  
Contact a qualified HVAC professional.



6: PLUMBING

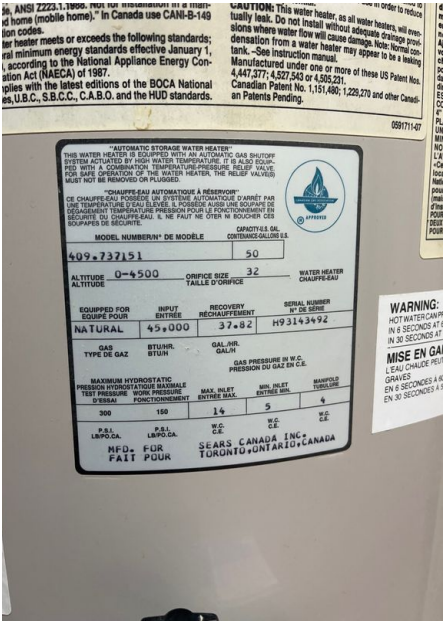
Information

Water Heater : Age

Age of Unit(s):  
30

Water Heater : Water Supply Type Water Heater : Capacity

Public  
Gallons  
50





Water Supply, Distribution  
Systems : CPVC



Fixtures: Toilet

This is a schematic of common water closets (toilets) and is meant for informational purposes. This fixture schematic may not necessarily represent the water closets found in the structure.



Sewer Camera Inspection: Sewer Inspection Performed

A sewer camera inspection was performed. The municipal tie in was reached at approximately 89 feet.



## Water Heater : Water Heater Thermostat

Turning down the temperature of hot water heaters can save energy and prevent scalding.



## Water Heater : Main Water Shut Off

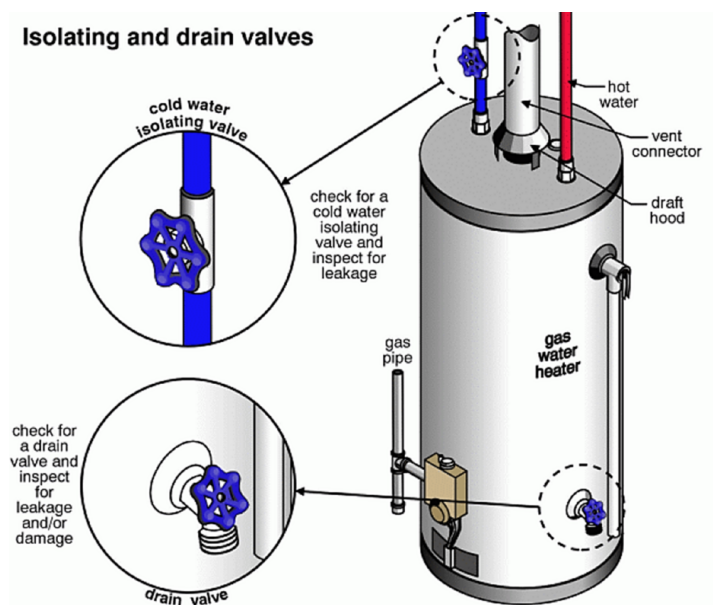
In case of a water emergency, this valve should be turned to shut off the water supply to the structure. It should be noted that these valves are not tested during the property inspection; these valves may fail to seal or turn due to wear and tear or lack of use.



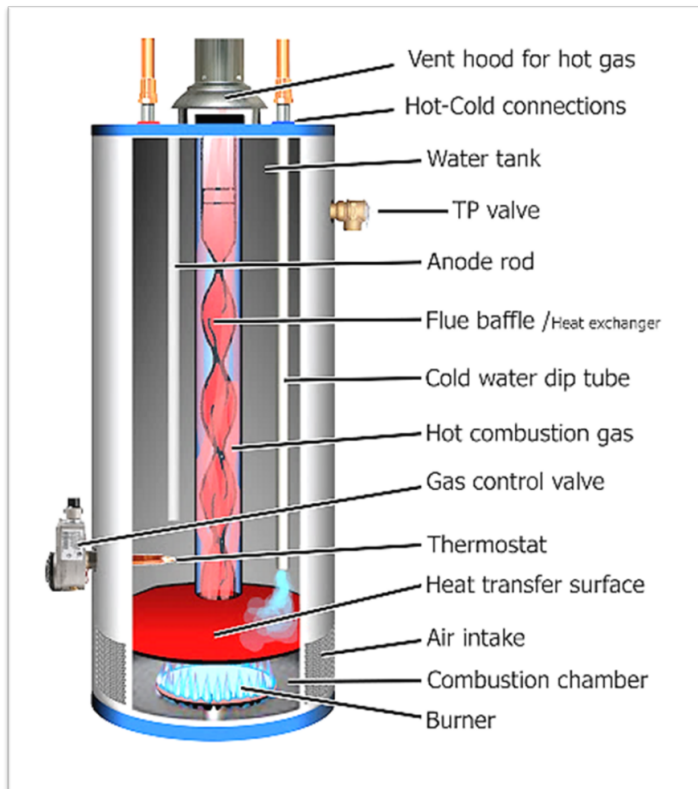
## Water Heater : Tanked Water Heater - Gas

### Gas

The water heating was inspected. Proper maintenance of the unit, such as annual drainage along with bi-annual rod replacement have shown to increase the life span of these systems. If the structure has been vacant for more than 4 weeks, it is recommended to flush the water from water heater to mitigate any exposure of waterborne pathogens. The main fuel supply shut off valve is located by tracing the gas line from the gas valve back until the location of a valve is found.

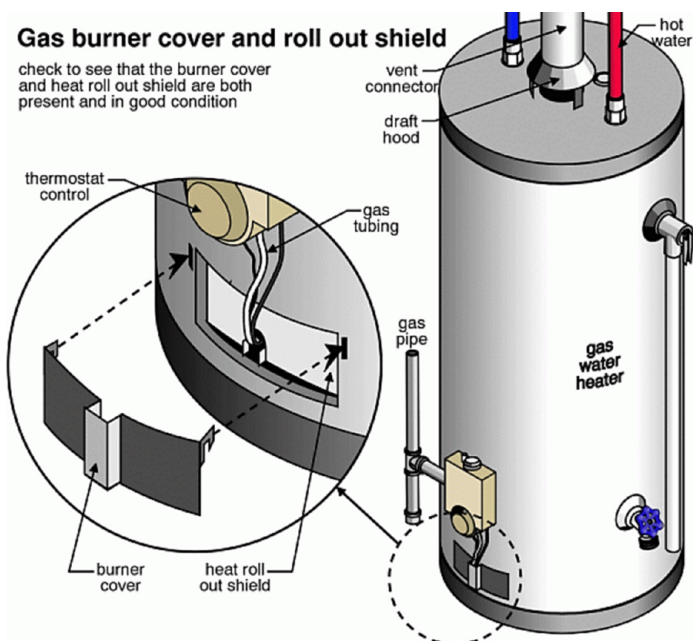






### Gas burner cover and roll out shield

check to see that the burner cover and heat roll out shield are both present and in good condition

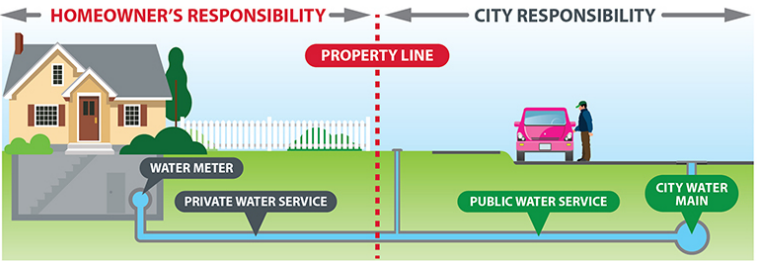
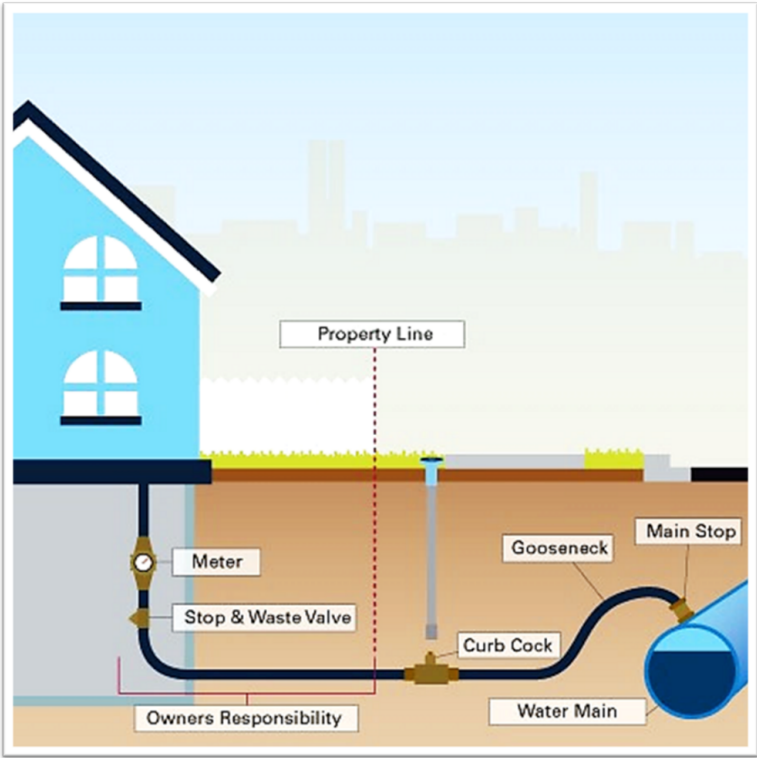




Water Supply, Distribution Systems : Main Water Line

Plastic

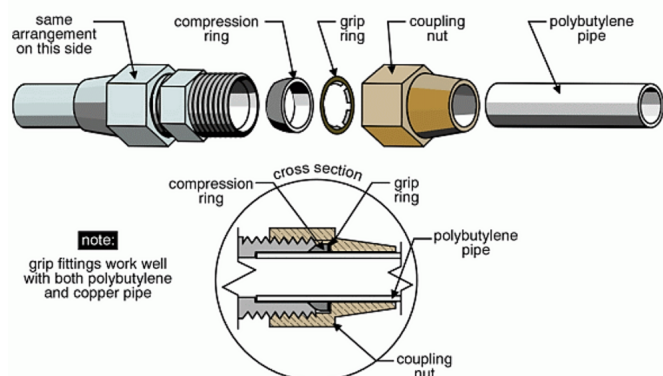
This is a schematic of common water supply line installations and is meant for informational purposes. This schematic may not necessarily represent the installation of the water line found in the structure.



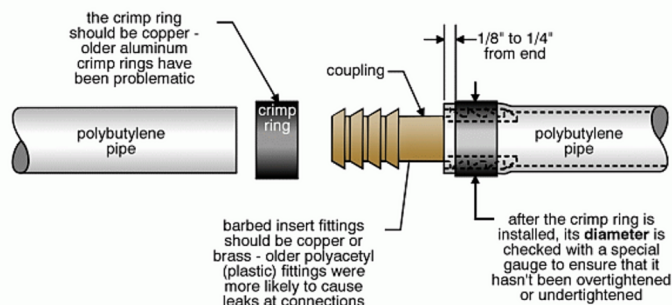
## Water Supply, Distribution Systems : Water Distribution Material - Polybutylene

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995.

### Polybutylene pipe - compression (grip) fitting



### Polybutylene pipe - crimp fitting



## Deficiencies

### 6.4.1 Fixtures

#### AERATOR - SERVICE

It is recommended to service the following aerator.

Recommendation

Contact a qualified plumbing contractor.



### 6.4.2 Fixtures

#### DETERIORATED OR MISSING CAULKING

One or more locations at the structure exhibited missing or caulking past its life expectancy. Caulking helps prevent water migration into areas not designed to contain water. It is recommended to rectify this.

Recommendation

Contact a qualified professional.





#### 6.4.3 Fixtures

##### **DRAIN STOP DEFICIENCY**

One or more drain stops were deficient. Replacement units can be purchased from the local hardware store inexpensively.

##### Recommendation

Contact a handyman or DIY project



#### 6.4.4 Fixtures

##### **LEAK**

One or more leak(s) was noted at the following fixture(s). It is recommended that this be repaired by a qualified professional.

##### Recommendation

Contact a qualified plumbing contractor.



#### 6.4.5 Fixtures

##### **NUISANCE DRIP**

One or more fixtures were noted to have nuisance drips.

##### Recommendation

Contact a qualified plumbing contractor.



#### 6.4.6 Fixtures

##### **SLOW DRAIN(S)**

One or more fixtures were noted to have a slow drain; this should be serviced to provide adequate drainage. Pouring baking soda followed by vinegar may help break up obstructions down hole if debris is the culprit.

##### Recommendation

Contact a qualified plumbing contractor.



## 6.4.7 Fixtures

**SURFACE DEFECTS**

One or more fixtures were noted to have surface defects. While no leaks were noted during the inspection, it is recommended that these be repaired or budgeted to be replaced.

## Recommendation

Contact a qualified professional.



## 6.4.8 Fixtures

**TILE DAMAGE**

Some of the tile or grout was noted to be damaged and should be repaired to mitigate water damage.

## Recommendation

Contact a qualified plumbing contractor.



## 6.11.1 Sewer Camera Inspection

**OVALITY**

Ovality was noted in the sewer waste line. While this may have occurred at the time of installation, it is recommended to monitor the line with a camera inspect every 2 years to confirm the ovality is not continuing to increase.

## Recommendation

Contact a qualified professional.



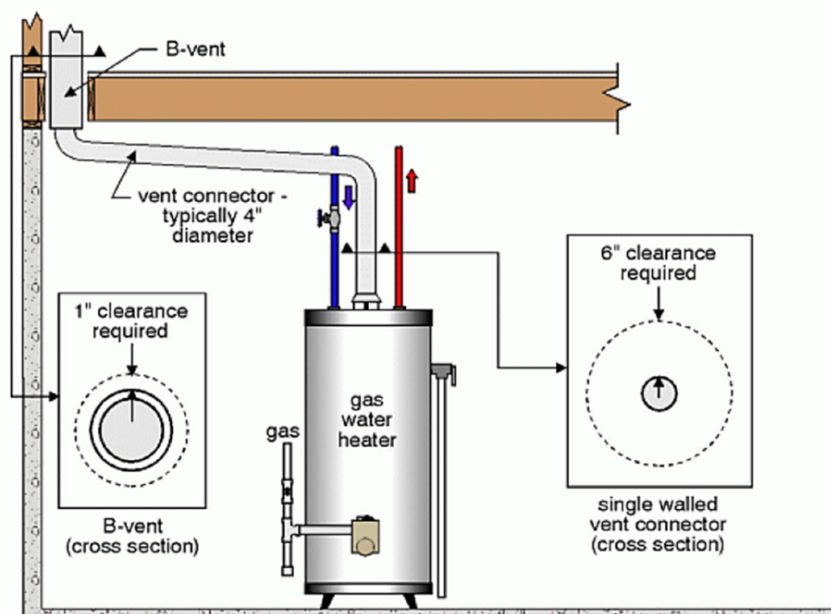
## 6.14.1 Venting

**COMBUSTIBLE CLEARANCE**



B vent clearance is a minimum of 1" from combustibles while C vents require 6". The clearance was not met in the following area(s). It is recommended that a qualified professional rectify this.

### Vent clearances



Recommendation

Contact a qualified HVAC professional.



### 6.15.1 Water Heater

#### AGE

Due to the age of the water heater, it is recommended that the client(s) begin budgeting for a replacement unit. Proper maintenance of the unit, such as annual drainage along with bi-annual rod replacement have shown to increase the life span of these systems. If the structure has been vacant for more than 4 weeks, it is recommended to flush the water from water heater to mitigate any exposure of waterborne pathogens.

Recommendation

Contact a qualified plumbing contractor.



### 6.16.1 Water Supply, Distribution Systems

#### POLYBUTYLENE SUPPLY PIPES

##### MASTER BATHROOM

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995.

Recommendation

Contact a qualified plumbing contractor.



7: ELECTRICAL

Information

<b>Main Panelboard: Overcurrent Protection Device Type</b>	<b>Main Panelboard: Main Disconnect Rating (Overcurrent Protection Device / Breaker)</b>	<b>Main Panelboard: Conductor Material</b>
Circuit Breaker	AMPs 100	Copper

Branch Wiring : Wiring Schematic

This is a schematic that explains the various types of copper conductors. It is meant simply for informational purposes. The structure's single strand circuit branch wiring is made of copper.

Common household wire and fuse sizes

14 AWG copper wire

common uses:  
most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:  
15 amps

10 AWG copper wire

common uses:  
electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:  
30 amps

12 AWG copper wire

common uses:  
some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:  
20 amps

8 AWG copper wire

common uses:  
electric stoves and ovens

typical fuse/breaker size:  
40 amps

## Carbon Monoxide & Smoke Detectors / Alarms: Carbon Monoxide Alarms

It is recommended to have carbon monoxide alarms on every floor of a structure. These are safety devices which detect a lethal gas that has taken the lives of many unsuspecting individuals. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning appliance such as a furnace, range, water heater, space heater, dryer, or wood stove.

## Carbon Monoxide & Smoke Detectors / Alarms: Smoke Alarms

It is recommended to have smoke alarms in every bedroom of a structure.

These units should be tested on a monthly basis with a canister of smoke to ensure they are functioning properly. Batteries should be changed annually at the least.

All the smoke alarms in the structure should be checked to ensure that they are not older than 10 years; as this is the typical life span of the units. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years.

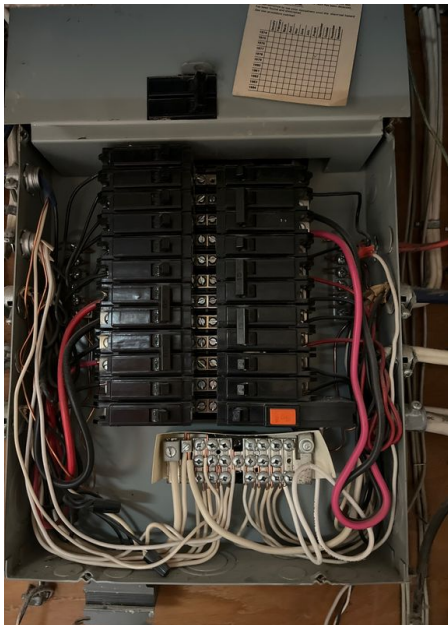
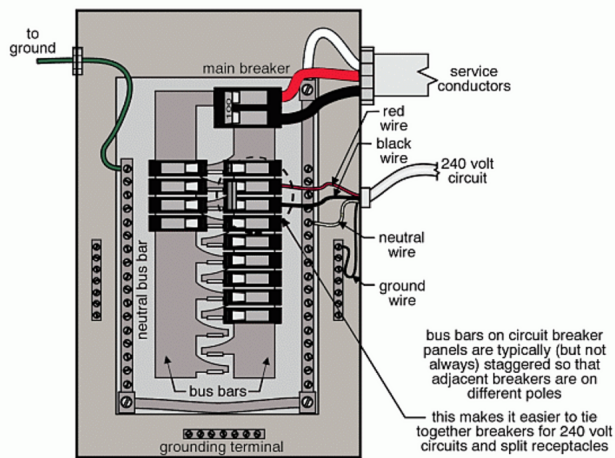




## Main Panelboard: Panelboard

The electrical panel(s) was inspected. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

### Staggered bus bars on circuit breaker panels



## Deficiencies

### 7.1.1 Branch Wiring

#### OPEN SPLICE(S)

Splices should be made in junction boxes by qualified electricians.

Recommendation

Contact a qualified electrical contractor.



### 7.1.2 Branch Wiring

#### **UNPROTECTED WIRING**

Exposed non-metallic dry sheathing (NMS) circuit wiring was found. All exposed NMS wiring below 1.5 meters should be protected by armoured sheathing.

Recommendation

Contact a qualified electrical contractor.



### 7.3.1 Extension Cord Use

#### **EXTENSION CORD USE**

Extension cords should not be used as a permanent power source.

Recommendation

Contact a qualified electrical contractor.



#### 7.4.1 Exterior Use

### **IMPROPER USE**

All conduit lines and receptacle boxes should be sealed against the weather and critters.

Recommendation

Contact a qualified electrical contractor.



#### 7.5.1 GFCI & AFCI

### **NO GFCI PROTECTION INSTALLED**



It is recommended that GFI protected receptacles be installed within 1.5 meters of any water sources as well as receptacles found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

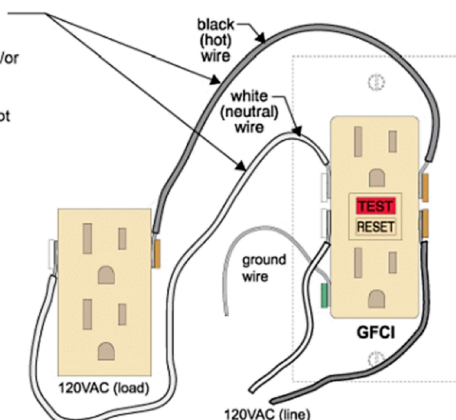
**Ground fault circuit interrupter**  
also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

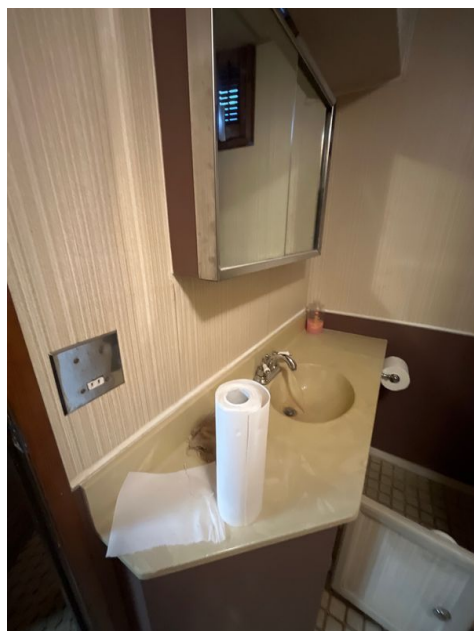
**note:**

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



**Recommendation**

Contact a qualified electrical contractor.



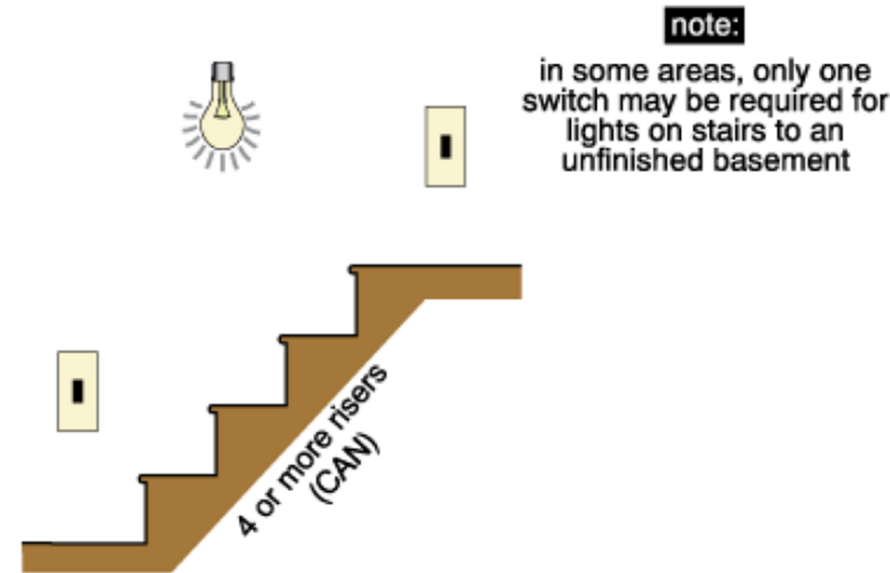
7.7.1 Lighting Fixtures

**NO 3 WAY SWITCH**

It is recommended to have three way switches for stairways.

## Stairway lighting

stairway lighting requires switches at both the top and bottom of the stairs when the stairs have 4 or more risers

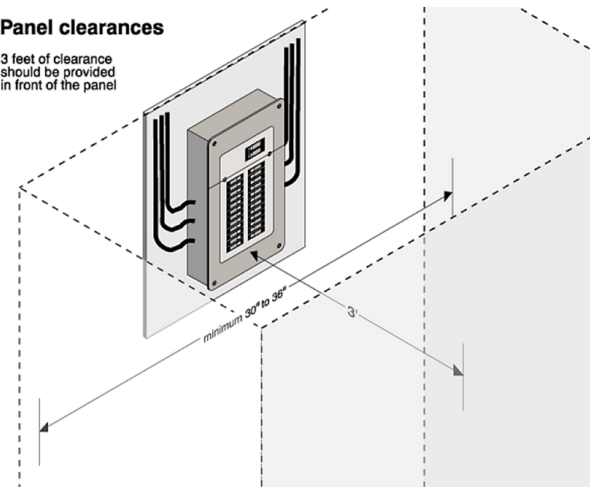


Recommendation  
Contact a qualified electrical contractor.

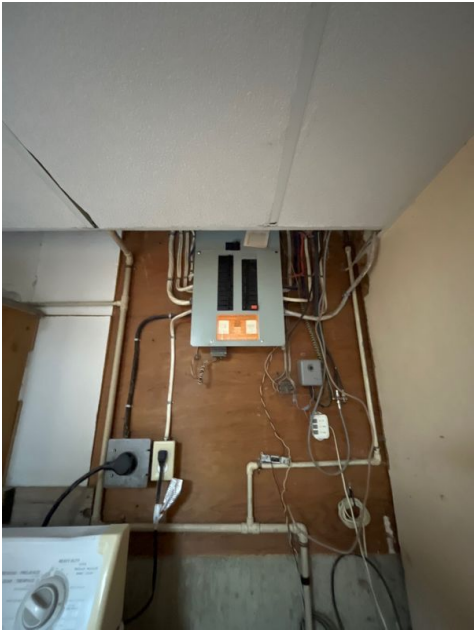
### 7.8.1 Main Panelboard

## INADEQUATE ACCESS

Electrical panels should have access 1 meter in front for servicing.



Recommendation  
Contact a qualified electrical contractor.



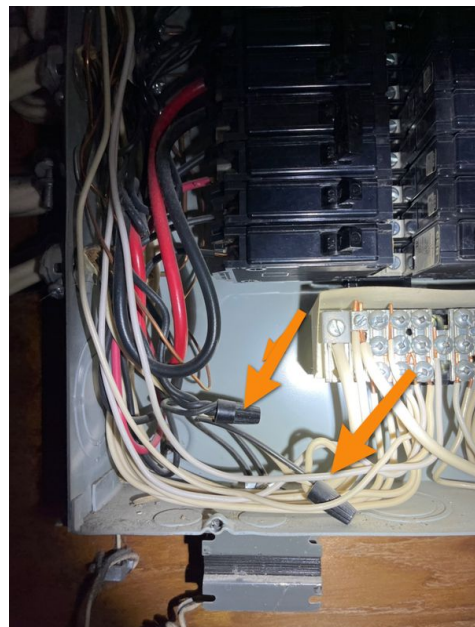
## 7.8.2 Main Panelboard

**SPLICES**

Splices should be made out of panelboards inside junction boxes.

Recommendation

Contact a qualified electrical contractor.



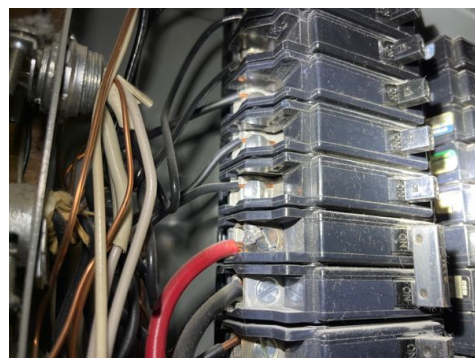
## 7.11.1 Overcurrent Protection Devices (Breakers / Fuses)

**DAMAGE - BREAKER**

Damage was noted at one or more breakers and should be replaced by a qualified electrician.

Recommendation

Contact a qualified electrical contractor.



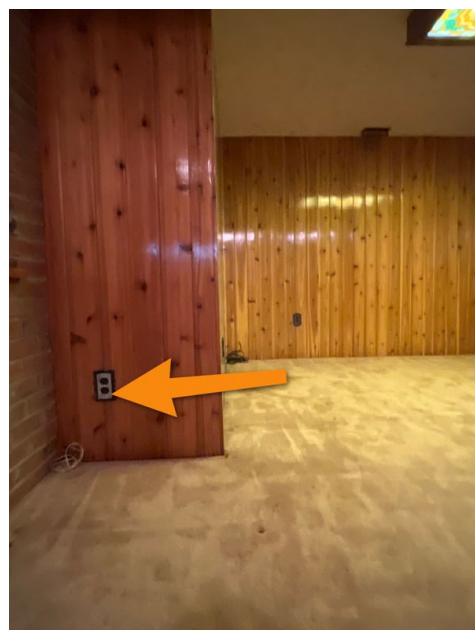
## 7.12.1 Outlets

**NOT TESTED**

One or more receptacles was not tested as there was an impediment.

Recommendation

Contact a qualified electrical contractor.





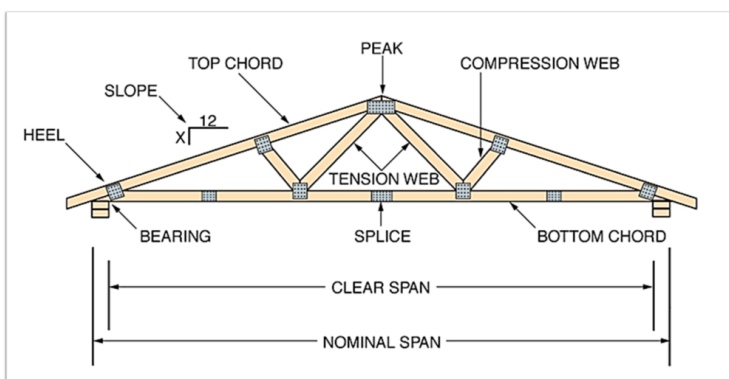
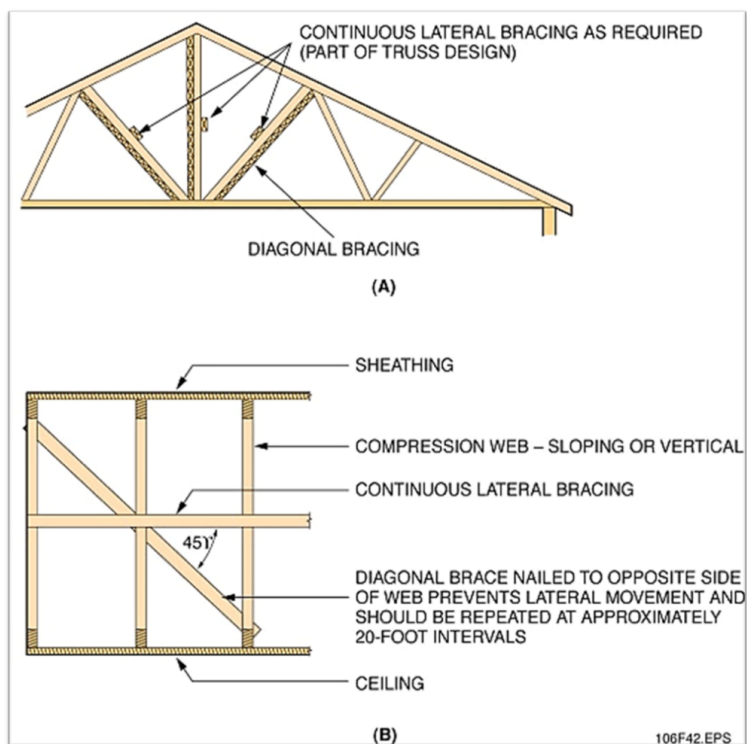
# 8: STRUCTURAL

## Information

Attic & Foundation : Foundation Material	Attic Insulation: Insulation Type	Flooring System: Material
Concrete	Cellulose	Joists

## Attic & Foundation : Trusses

The attic system was inspected. This is a schematic that explains the various components of engineered trusses. It is meant simply for informational purposes.



## Attic Insulation: Inches

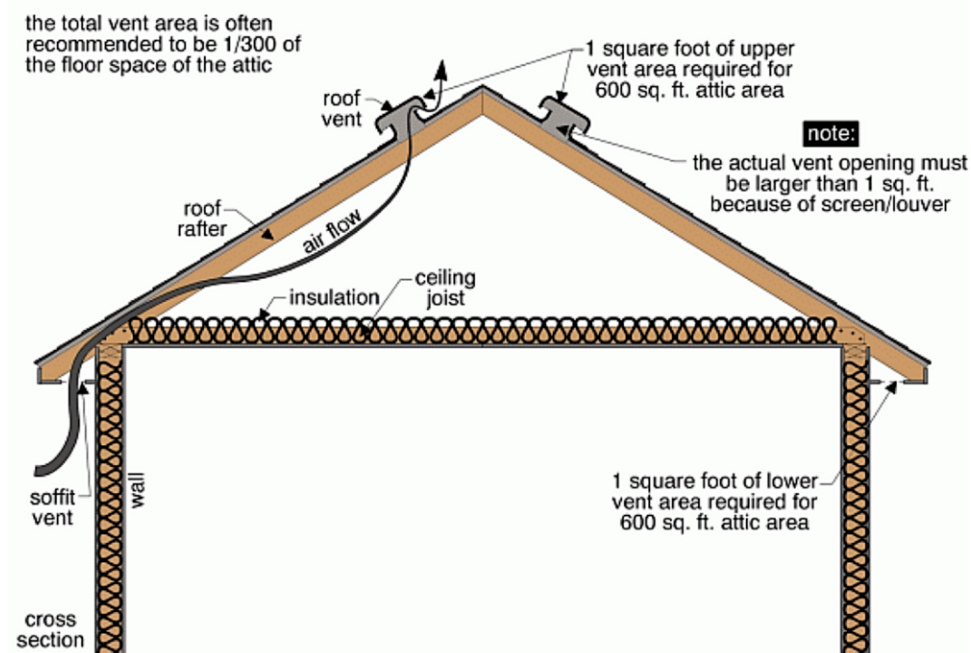
4"

Today's standard is 14- 20" of blown fiberglass insulation giving R 50-60. If the building owner(s) note that the snow on their roof melts quicker than their neighbours, or if the temperature in the structure is very cold during the winter months or hot in the summer time, they may need to get a top up of insulation in the attic.

## Attic Ventilation: Attic Ventilation

The following is a schematic that explains a conventional attic ventilation system and may not necessarily . Structures built in the last 10 years may not come equipped with soffit venting.

### Recommended amount of attic ventilation



## Deficiencies

### 8.1.1 Attic & Foundation

#### ATTIC HATCH NOT WEATHERSTRIPPED

It is recommended to install weather stripping at the attic hatch. Weather stripping prevents warm and cold air contacting one another causing condensation (water) which is a precursor to mold development.

Recommendation

Contact a handyman or DIY project

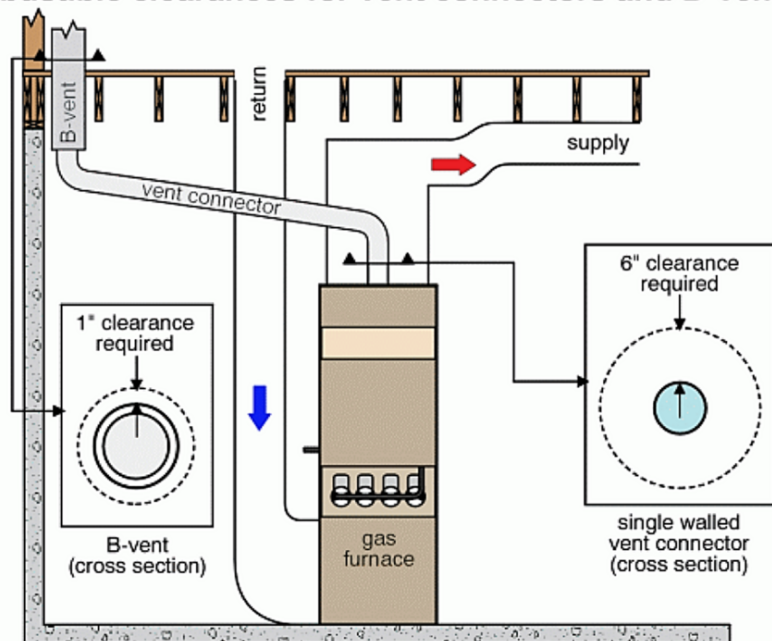




## 8.1.2 Attic &amp; Foundation

**COMBUSTIBLE CLEARANCE**

B vent clearance is a minimum of 1" from combustibles while C vents require 6". The clearance was not met in the following area(s). It is recommended that a qualified professional rectify this.

**Combustible clearances for vent connectors and B-vents**

## Recommendation

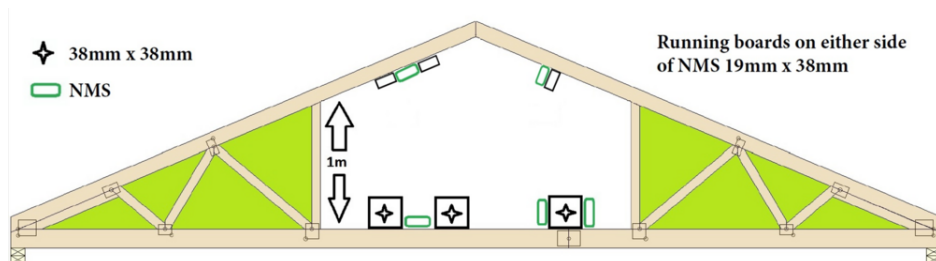
Contact a qualified HVAC professional.



## 8.1.3 Attic &amp; Foundation

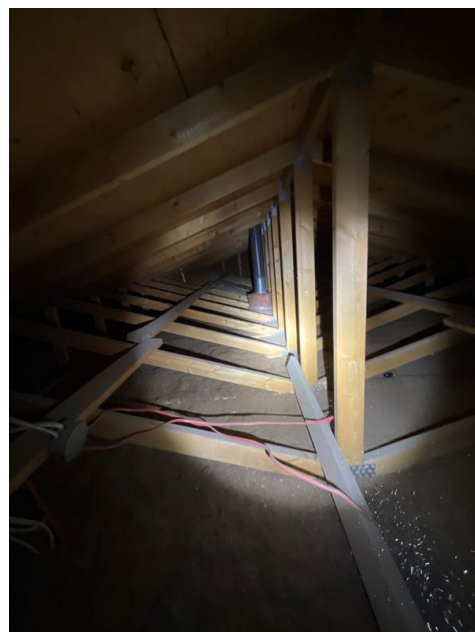
**UNPROTECTED WIRING - ATTIC**

Exposed non-metallic dry sheathing (NMS) circuit wiring was found. All exposed NMS wiring with headroom of at least 1 meter should be protected by armoured sheathing.



## Recommendation

Contact a qualified electrical contractor.

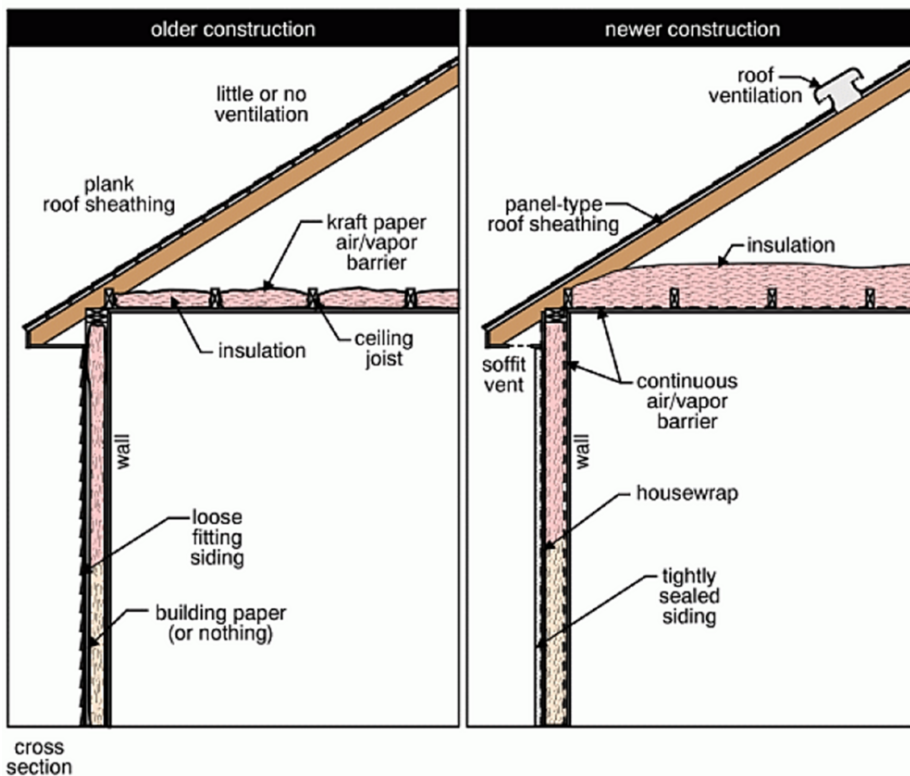


## 8.2.1 Attic Insulation

**AMOUNT LESS THAN CURRENT STANDARDS**

The attic was found to have less than today's standard in one or more areas. Today's standards is R 50 - 60. It is recommended to top up the insulation for better energy efficiency.

### Differences between old and new construction



Recommendation

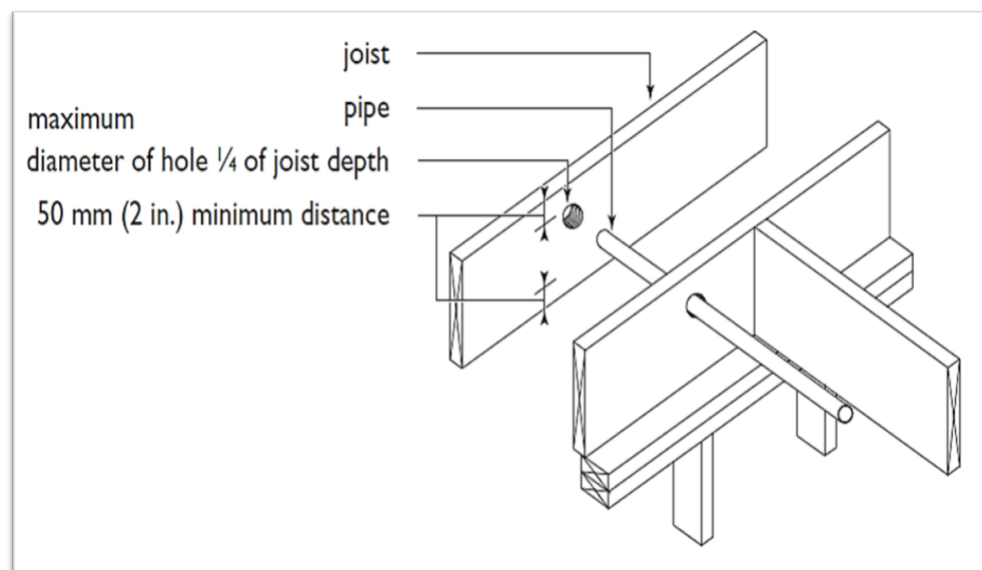
Contact a qualified insulation contractor.



### 8.8.1 Flooring System

#### JOISTS NOTCHES / ALTERATIONS

One or more of the joists were noted to be notched in the flooring system. It is recommended that a qualified carpenter further assess these areas.



Recommendation

Contact a qualified carpenter.



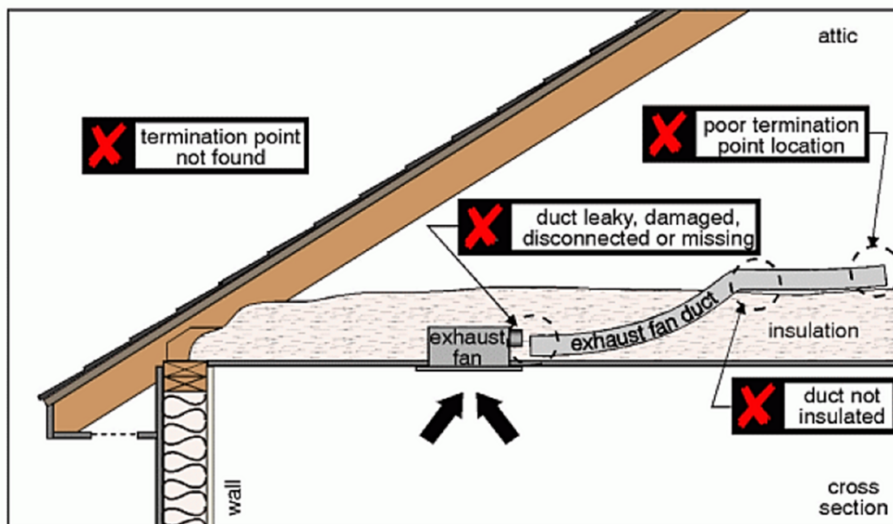
## 9: BUILDING SCIENCE

### Deficiencies

#### 9.2.1 Exhaust Systems

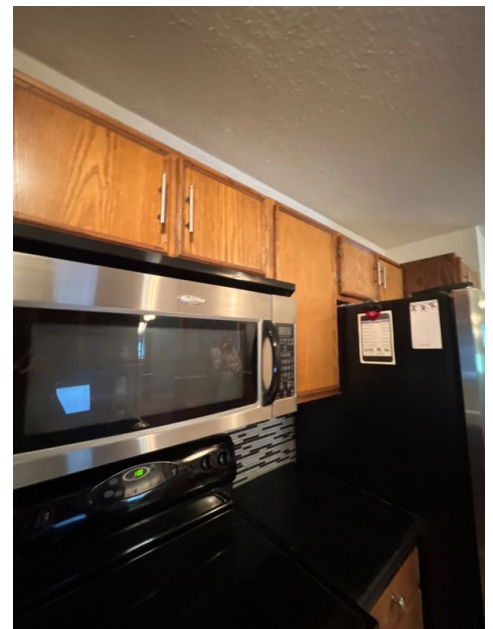
#### **DOES NOT DISCHARGE OUT OF STRUCTURE**

It is recommended that exhaust fans be vented out of structures.



Recommendation

Contact a qualified roofing professional.





## 9.2.2 Exhaust Systems

**DUCTS LOOSE**

Ductwork in the attic is loose or disconnected. Recommend repair.



## 9.2.3 Exhaust Systems

**INADEQUATE AIR MOVEMENT**

Inadequate air flow was noted at the following fan(s). This should be further investigated.

Recommendation

Contact a qualified handyman.



## 10: INTERIOR

### Information

Countertops & Cabinets:  
Inspected

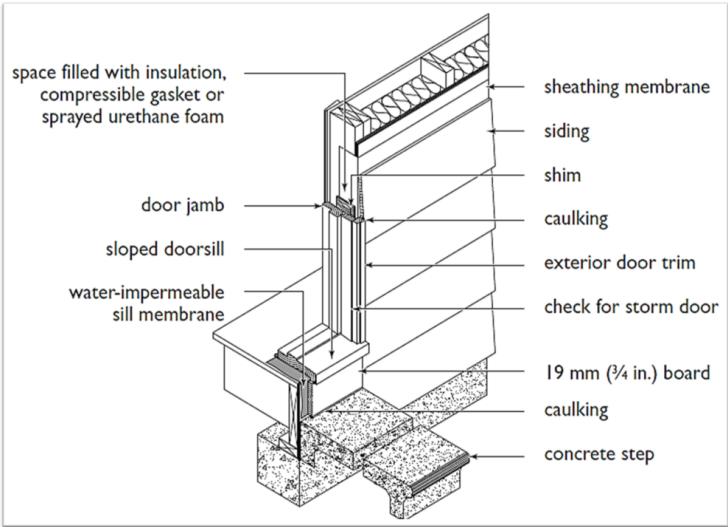


Cosmetics: General Comment

Cosmetics are not part of an inspection. Any cosmetics indicated in the report are provided as a courtesy.

Doors: Door Locks and Codes

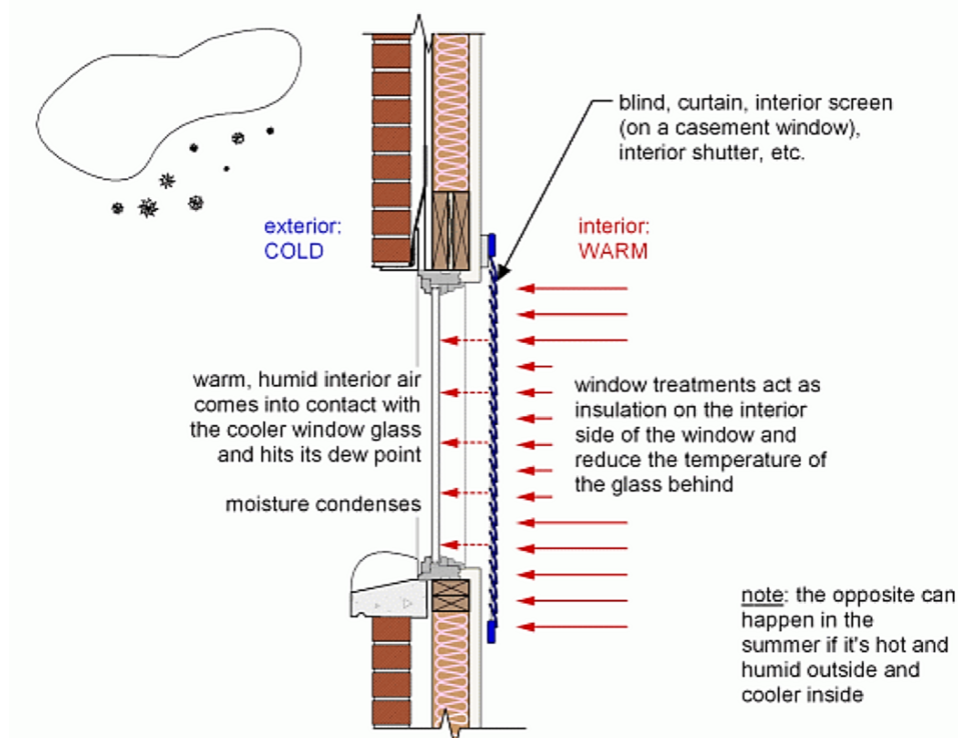
It is recommended to have all exterior door locks tumbled and codes changed, after the structure is purchased.



## Windows: Windows

No warranties are made for the integrity of the windows, seals, frames, or against water intrusion. It should be noted that windows should be adequately sized for egress purposes (350mm total area obstructions and no dimension less than 15"). In addition, bedrooms should have a chair, table, etc. that allow egress, for especially children and elderly, in case of an emergency. All bars should be removed for egress purposes. It should be noted that adding tinting or foil films to double-glazed windows; voids manufacturer's warranties. Lastly, it is recommended to have air flow during colder seasons to prevent condensation build up. This consists of opening the blinds.

### Blinds and shutters can contribute to window condensation



## Deficiencies

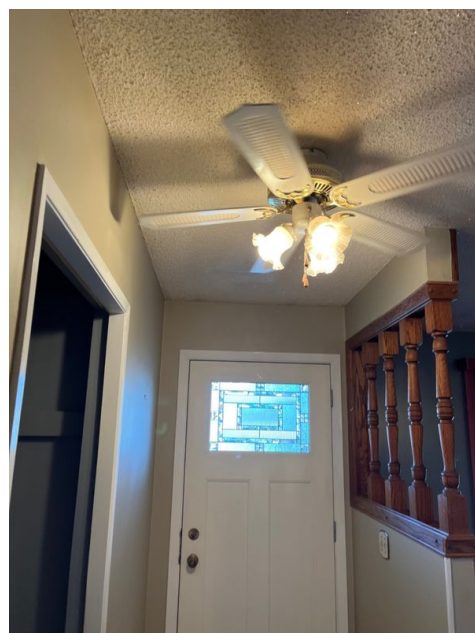
### 10.1.1 Ceiling Fan

#### WOBBLING

One or more ceiling fans were noted to wobble. These should be serviced.

#### Recommendation

Contact a qualified professional.





## 10.4.1 Doors

**ADJUSTMENT NEEDED**

One or more doors should be adjusted for smoother operation.

## Recommendation

Contact a qualified professional.



## 10.4.2 Doors

**FASTENERS MISSING**

It is recommended to install fasteners for the hinges.

## Recommendation

Contact a qualified door repair/installation contractor.



## 10.4.3 Doors

**SERVICING RECOMMENDED**

Some of the doors require servicing.

## Recommendation

Contact a qualified door repair/installation contractor.



#### 10.7.1 Hazardous Materials

### POSSIBLE ORGANIC GROWTH

One or more areas were found to have, what appears to be organic growth. It is recommended to remove this by either using a mold killing agent or replacing the building material. With any renovations, additional signs of water damage may be found.

#### Recommendation

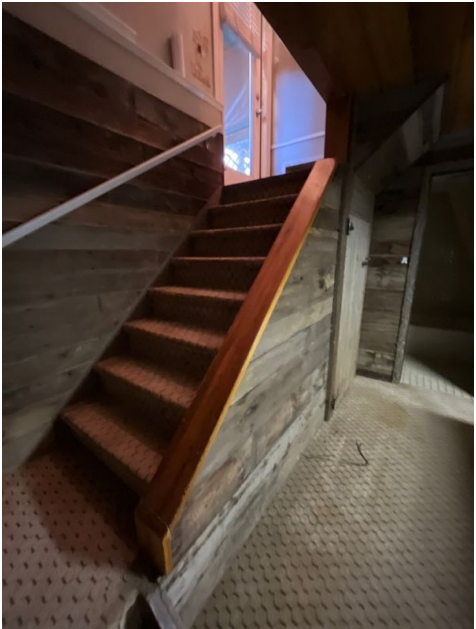
Contact a qualified mold remediation contractor



#### 10.13.1 Steps, Stairways & Railings


### BALUSTERS MISSING

The baluster space is not up to modern safety standards. The space between balusters should not allow passage of a 4 3/8-inch sphere for child safety. Recommend a qualified handyman or original installer repair and bring up to code.

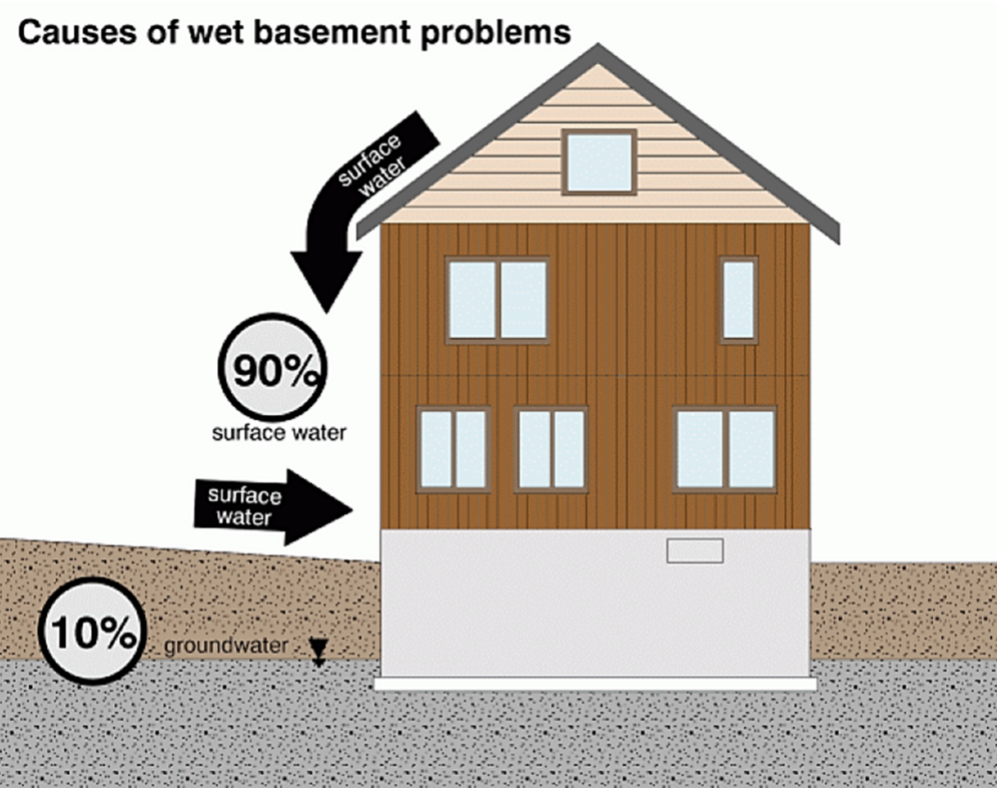


10.15.1 Water Marks / Damage

**WATER DAMAGE - EXTERIOR WALLS**

 Items of Note

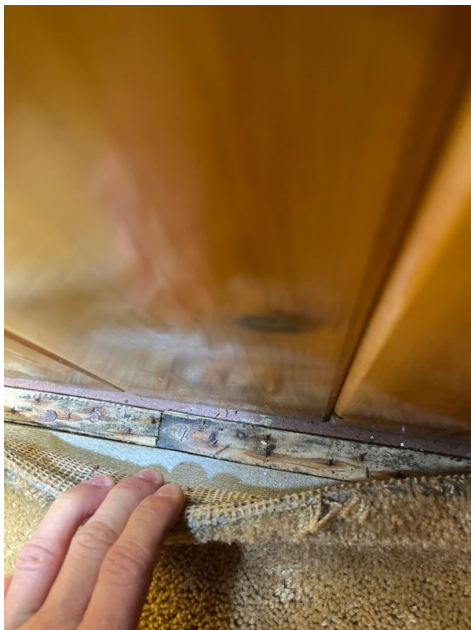
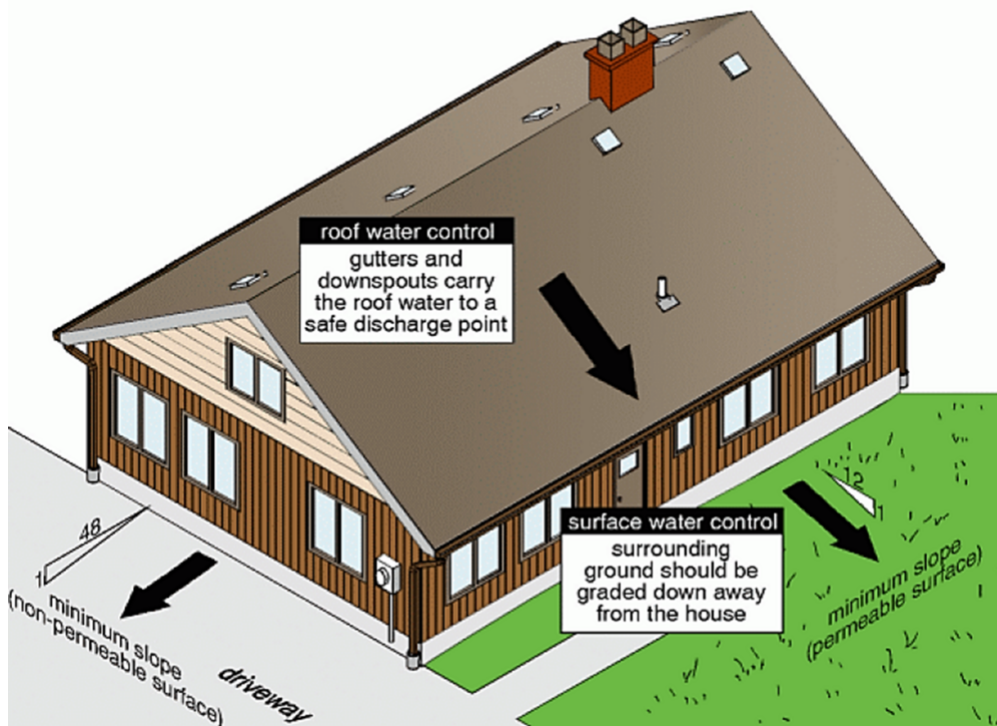
It appears that water damage was noted in the following area(s). While no active leaks or moisture was present at the time of the inspection, it is recommended to inquire with the current occupants as to the history of the event and to monitor the area.



Recommendation  
Contact a qualified professional.



## Roof and surface water control





#### 10.15.2 Water Marks / Damage

### **WATER MARKS**

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.



#### 10.16.1 Windows

### **BLINDS DAMAGE**

Some of the blinds were noted to be damaged.

Recommendation

Contact a qualified professional.



#### 10.16.2 Windows

##### **DAMAGE**

One or more windows were noted to be damaged.

Recommendation

Contact a qualified window repair/installation contractor.



#### 10.16.3 Windows

##### **HARDWARE MISSING**

One or more windows had missing hardware and should be repaired by a qualified individual.

Recommendation

Contact a qualified window repair/installation contractor.





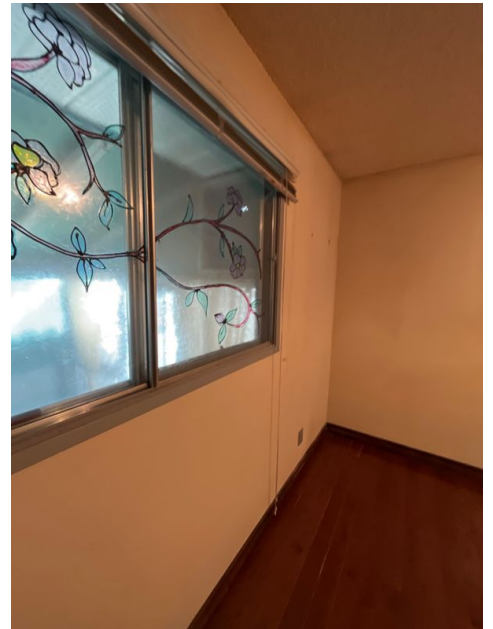
#### 10.16.4 Windows

##### **OLDER UNITS**

Because some of the windows in the structure are old, and low quality, the potential buyer should budget to replace them over the next few years.

##### *Recommendation*

Contact a qualified window repair/installation contractor.



#### 10.16.5 Windows

##### **SCREEN MISSING**

One or more window(s) were missing screens.

##### *Recommendation*

Contact a qualified window repair/installation contractor.



#### 10.16.6 Windows

### **SERVICE RECOMMENDED**

One or more windows should be serviced for smoother operation.

Recommendation

Contact a qualified window repair/installation contractor.



## 11: BUILT-IN APPLIANCES

### Information

### Range/Oven/Cooktop: Range / Oven / Cooktop

The oven and stove tops were tested.



### Appliances

No warranties are given by the inspector on appliances within the structure as they can fail at any time. No testing of water hook ups to appliances including: water dispensers or ice makers connected to the refrigerators is done. It is recommended that the potential buyer(s) look up the serial numbers of the appliances in the home to ensure no recalls have been made for the units.

### Built-in Microwave: Microwave

The microwave was tested and functioned well. It is recommended to replace or clean the unit filters every 6 months.





## Refrigerator: Refrigerator

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



## Washer / Dryer: Laundry System

The laundry system was tested on short cycles. It is recommended to leave the door open of front load washing machines after cycles to remove the excess moisture to prevent mold growth.



## Limitations

Refrigerator

**WATER LINE NOT CONNECTED**



## Deficiencies

### 11.9.1 Refrigerator

#### **DAMAGED COMPONENTS**

One or more damaged components were noted in the appliance.

Recommendation

Contact a qualified appliance repair professional.



### 11.10.1 Washer / Dryer

#### **DRYER - PLASTIC VENT**

It is recommended to have smooth metal duct for dryer vent lines.

Recommendation

Contact a qualified professional.



#### 11.10.2 Washer / Dryer

##### **EXCESSIVE LINT**

Lots of lint was found behind the dryer. The unit should be moved and the space should be cleaned.

Recommendation

Contact a handyman or DIY project



#### 11.10.3 Washer / Dryer

##### **DRYER HEAT RECOVERY BOX**

It is recommended to remove heat recovery boxes as they can lead to mold growth.

Recommendation

Contact a qualified professional.





# 12: WETT INSPECTIONS

## Information

### Factory-Built Fireplace: Unit



## Factory-Built Fireplace: Chimney Sweeping

It is recommended to have the chimney swept after each burning season, at a minimum, and to inspect the chimney after every 2 cords of wood burnt.



## Deficiencies

### 12.1.1 Factory-Built Fireplace

#### **CARBON MONOXIDE ALARM - MISSING**

As per ABC 9.32.3.9. A carbon monoxide must be installed in the same room as the appliance.

Recommendation

Contact a handyman or DIY project

### 12.1.2 Factory-Built Fireplace

#### **FIREBRICK DAMAGED**

Some of the firebrick was noted to be damaged. This should be repaired or replaced.

Recommendation

Contact a qualified fireplace contractor.



## 12.1.3 Factory-Built Fireplace

**FLOOR PROTECTION - DAMAGED**

The hearth pad was found to be cracked and missing mortar. These should be sealed / repaired for fire protection.

## Recommendation

Contact a qualified fireplace contractor.



## 12.1.4 Factory-Built Fireplace

**CHIMNEY DAMAGE**

Some damage was noted to the chimney and should be repaired.

## Recommendation

Contact a qualified professional.



## 12.1.5 Factory-Built Fireplace

**CHIMNEY CLEANOUT**

A cleanout was not found with the chimney base T. One should be added.

## Recommendation

Contact a qualified professional.





# 13: END OF REPORT

## Information

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### Your Review Helps Certa Immeasurably

Thank you again for allowing our Team to help you in your home buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!



### Certa's Mission, Vision, and Values

#### Mission Statement:

To provide an exemplary home service experience while improving the economic wellbeing and quality of life for all stakeholders.

#### Vision Statement:

To be Calgary's premiere home inspections company by July 1st, 2028.

#### Values:

Client Obsession.

Long Term Mindset.

Operational Excellence.

## Certa Services and Team Members

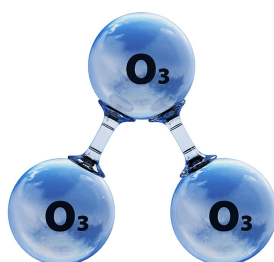
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

### Additional Services Offered by Certa:

**Sewer Camera Inspections:** We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



**(Ozone) Odour Removal:** Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale “aged” home smells.



**WETT Inspections:** Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



**Air Quality, Mold & Asbestos Testing:** Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.



Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.

