



PROPERTY REPORT

1234 Main Street
Calgary, AB T3K3V9

Buyer Name
09/17/2024 9:00AM



Inspector
Alex Floercke
587.834.0054
info@certainspections.ca



Inspector
Max Eidsvik
587.834.0054
info@certainspections.ca



Agent
Agent Name
555-555-5555
agent@spectora.com

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COMMON / TYPICAL
MAINTENANCE ITEMS

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-  2.7.2 Exterior - Deck(s) : Ledger board - Missing
-  2.7.3 Exterior - Deck(s) : Openings in Covering
-  2.7.4 Exterior - Deck(s) : Post - Inadequate Support Span
-  2.7.5 Exterior - Deck(s) : Poor Shimming Practice
-  2.7.6 Exterior - Deck(s) : Rot
-  2.7.7 Exterior - Deck(s) : Stairs - Riser Height Too Tall
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-  2.7.9 Exterior - Deck(s) : Unconventional Framing Methods
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- 🔧 8.2.1 Structural - Attic Insulation: Amount Less than Current Standards

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1: INSPECTION DETAILS

Information

Weather Conditions

Sunny

Temperature (approximate)

19 Celsius (C)

Your Review Helps Certa Immeasurably

Thank you again for allowing our Team to help you in your property buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!



Certa's Vision and Values

Vision Statement:

To be Calgary's premiere home inspections company by July 1st, 2028.

Values:

Client Obsession.

Long Term Mindset.

Operational Excellence.

Certa Services and Team Members

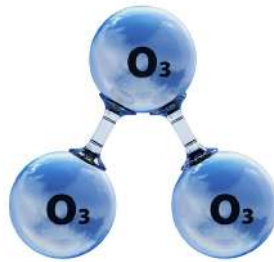
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

Additional Services Offered by Certa:

Sewer Camera Inspections: We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



(Ozone) Odour Removal: Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale "aged" home smells.



WETT Inspections: Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



Air Quality, Mold & Asbestos Testing: Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.



Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.



City of Calgary Permit URL: Calgary Permits

The following link will indicate all permits for dwellings in the city of Calgary.

<https://maps.calgary.ca/myProperty/>

City of Calgary Secondary Suites Registry: City of Calgary Secondary Suites Registry

The following URL is a registry that the public can navigate to determine if a secondary suite is registered with the city of Calgary.

<https://secondariesuites.calgary.ca/>

Navigating Your Report

To learn how to navigate our Spectora Home Inspections Reports, please [click here](#) (less than 2 minutes).

Your Home Insurance Details

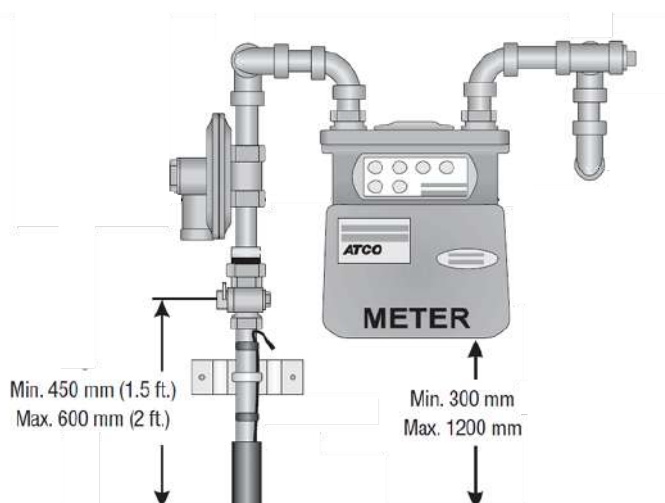
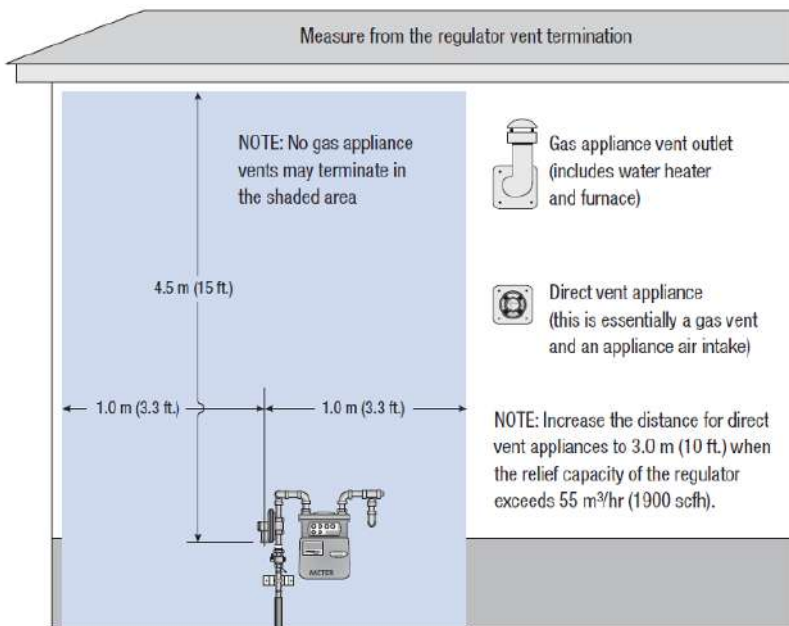
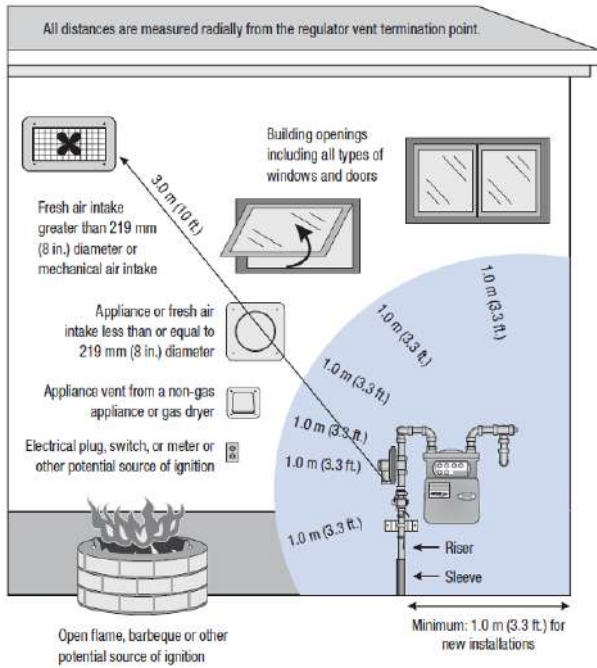
Please [visit this video](#) to learn where you can find most answers to the questions of your home insurance provider (4 min).

2: EXTERIOR

Information

Gas Meter: Gas Meter

If the building occupants ever detect the smell of natural gas, they should vacate the premises immediately and call the proper authorities outside of the structure. The utility provider name can be found on the dataplate below the meter.





GFCI / Outlets: GFI - Exterior

The Ground Fault Circuit Interrupter (GFCI) receptacles at the exterior were inspected.

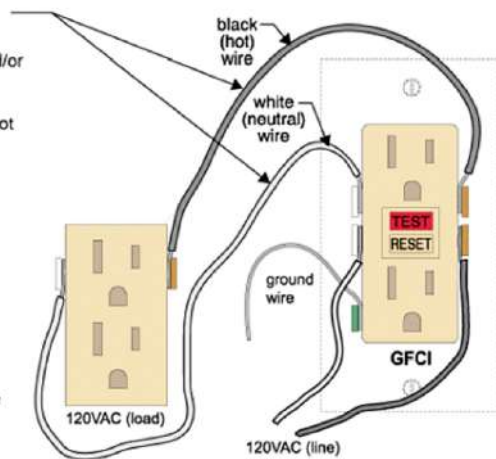
Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

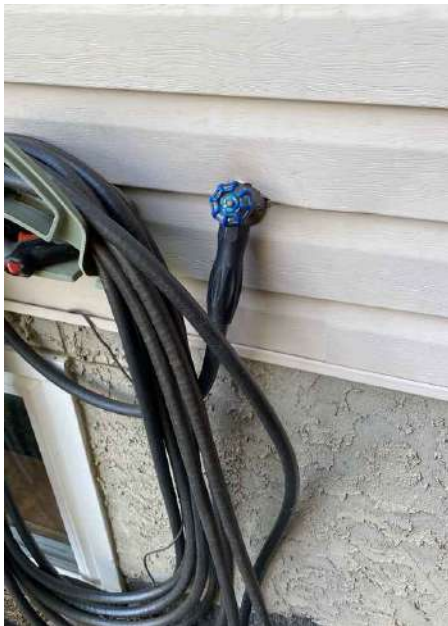
note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



Hose Bib: Hose Bib System

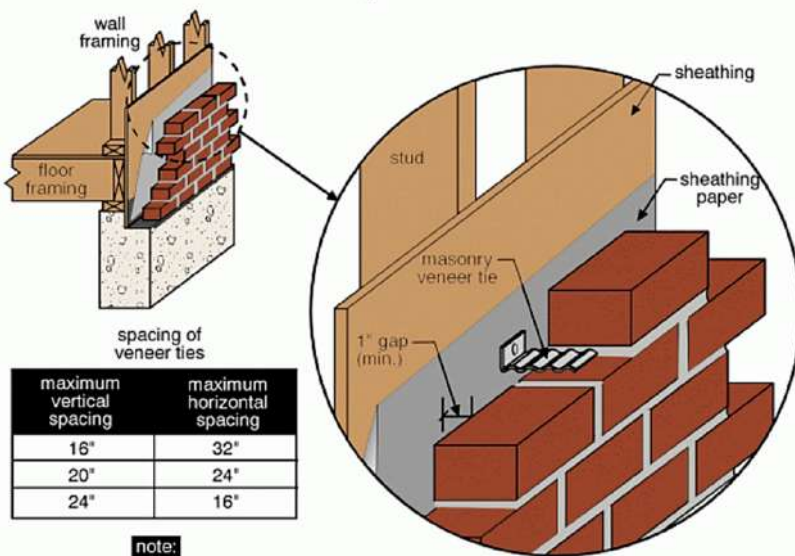
The hose bib system was inspected. It is recommended to shut off the supply lines where possible and remove any hoses attached to the bib during the winter months. It should be noted that any leaks that may be present at the stem or supply line in the wall cannot be inspected. In addition, vacuum breaker assemblies are recommended to prevent siphoning harmful products into the potable water supply of the structure.



Siding : Brick Veneer Detail

This schematic shows a typical installation for brick veneer siding and may not represent the exact installation found at the structure. This is for informational purposes only.

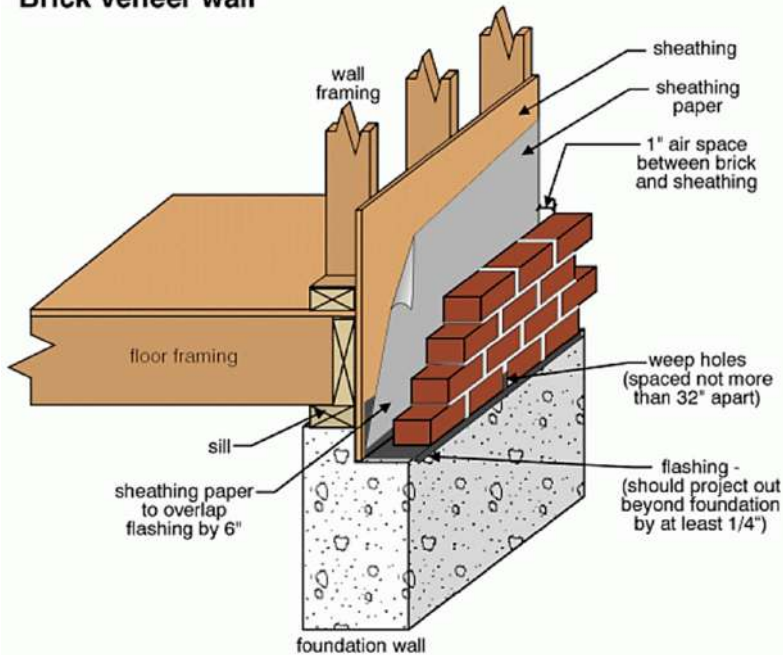
Brick veneer wall - masonry tie detail



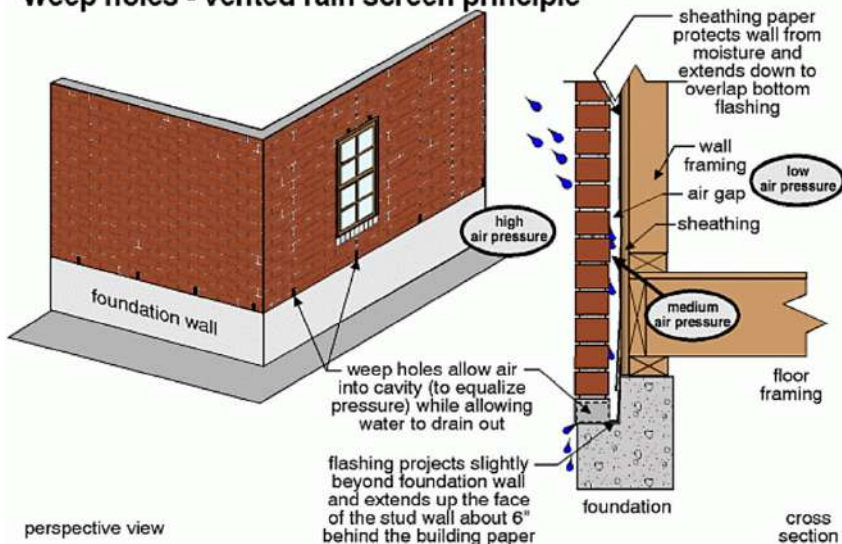
note:

veneer ties are nailed into studs

Brick veneer wall

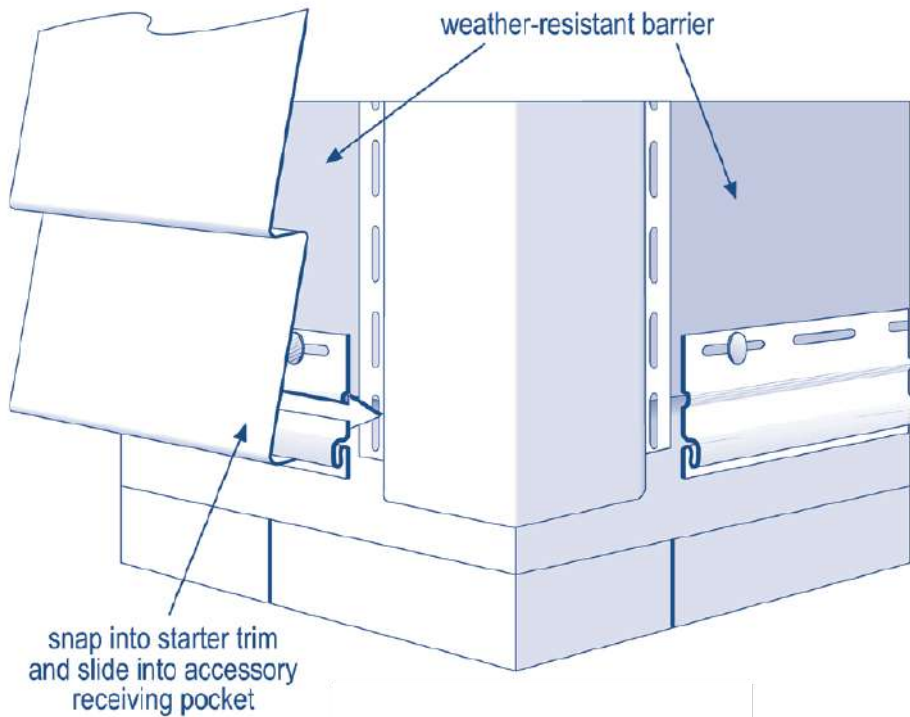
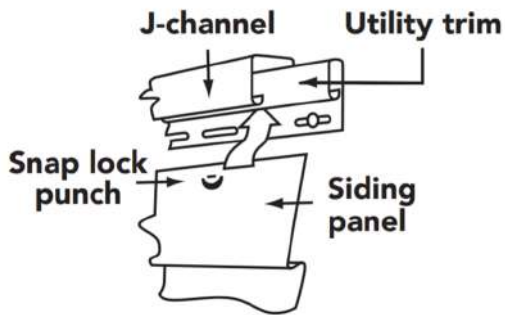


Weep holes - vented rain screen principle



Siding : Vinyl Siding Detail

This schematic shows a typical installation for vinyl siding and may not represent the exact installation found at the structure. This is for informational purposes only.



Limitations

Deck(s)

LIMITED OR NO ACCESS

Due to the limited access, the inspector was unable to inspect below the structure.

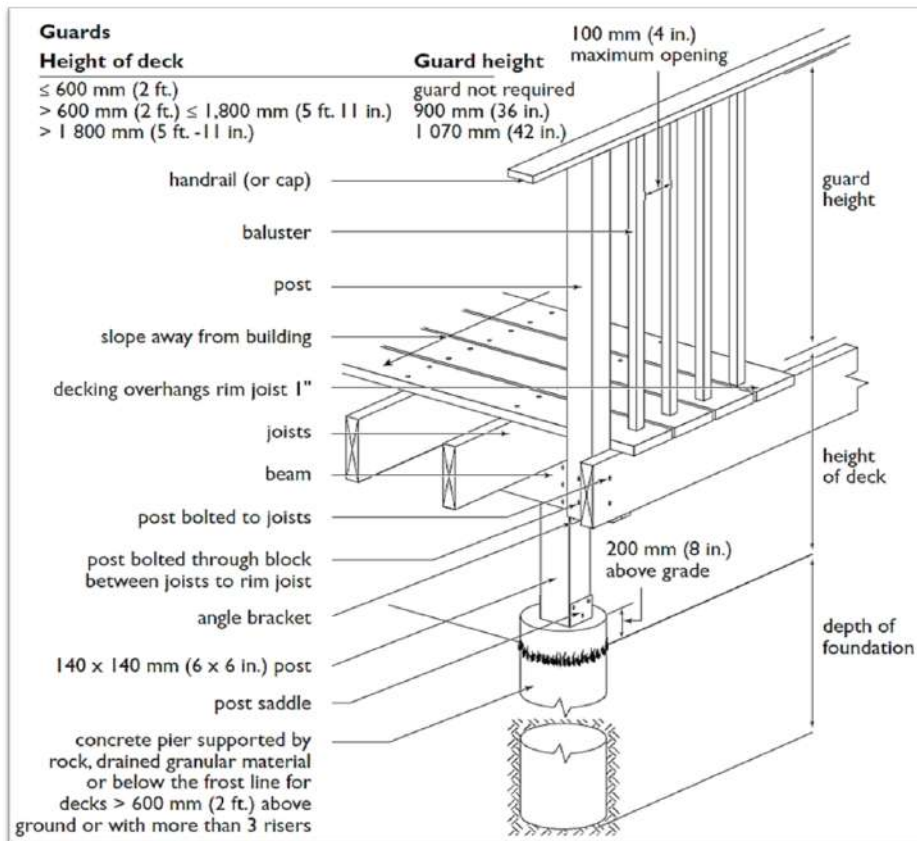
Structures over 24" in height should have 10" (diameter) concrete pilings that extend below the frost line. At the time of the inspection, it was undetermined if these pilings existed with the structure. This should be further inspected and corrected if needed.



Deck(s)

UNKNOWN FOOTINGS

Structures over 24" in height should have 10" (diameter) concrete pilings that extend below the frost line. At the time of the inspection, it was undetermined if these pilings existed with the structure. This should be further inspected and corrected if needed.

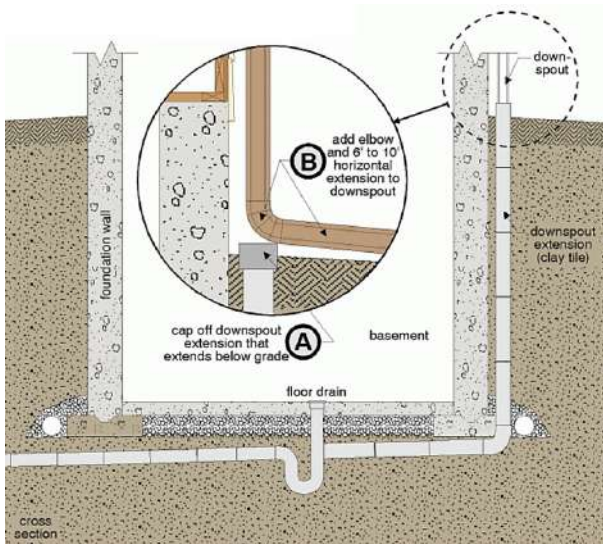


Downspouts / Gutters

BELOW GRADE DOWNSPOUTS

It is recommended that the integrity of these systems be tested. If there is damage to these underground drain systems, this may lead to water discharging near the foundation wall resulting in water penetration into the basement.

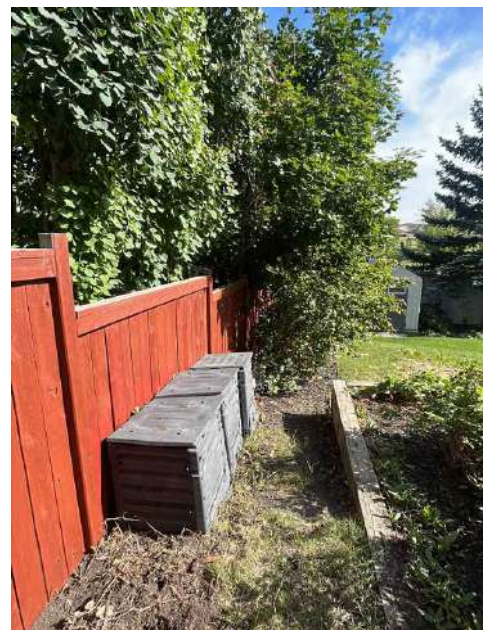




Fence

STORED ITEMS

Due to stored items, some components of the fence line could not be inspected.



Foundation

UNKNOWN ALTERATIONS

It is recommended to confirm that the following alteration(s) do not affect the structural integrity of the building.



GFCI / Outlets

NOT TESTED

One or more of the exterior receptacles were not tested.



Locked

Spa / Hot Tub

NOT TESTED / INSPECTED

The following hot tub was not tested. It is recommended to confirm the operation with the current owners.



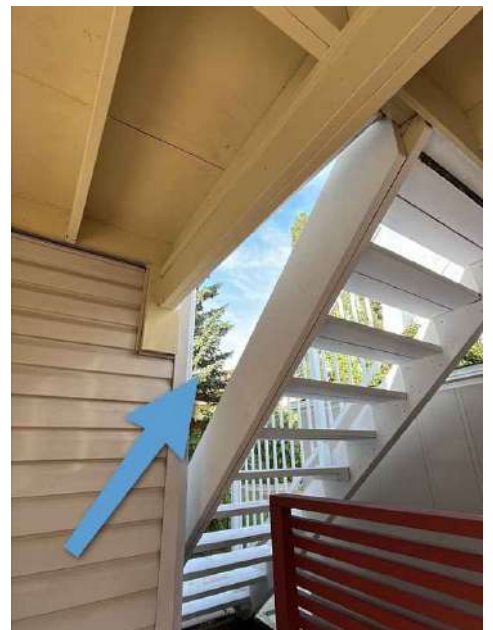
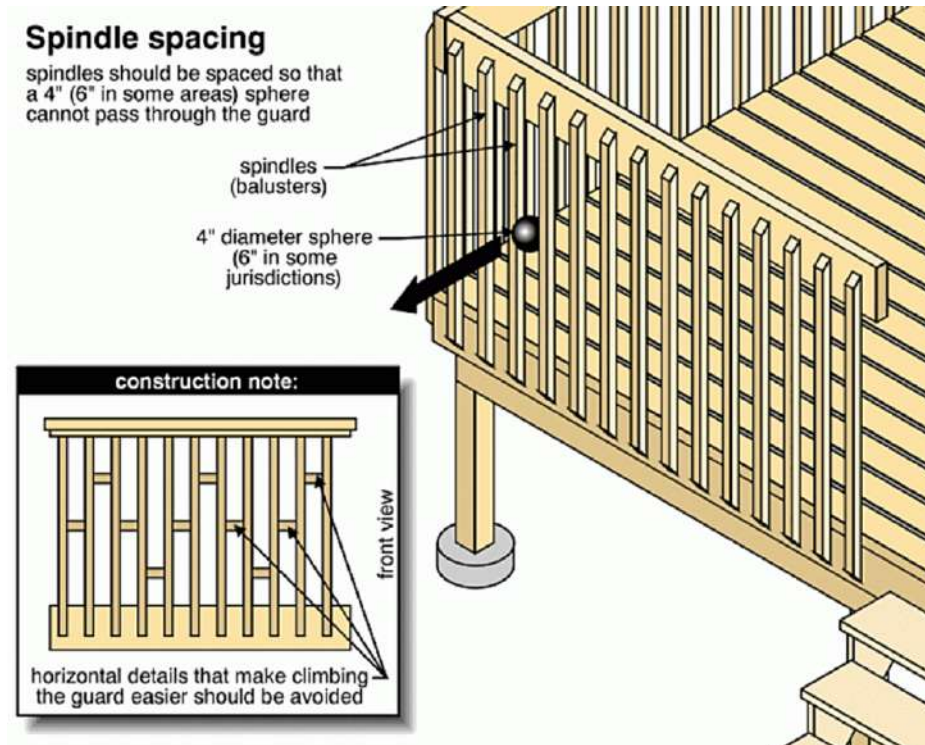
Deficiencies

2.7.1 Deck(s)

 Common / Typical Maintenance Items

BALUSTERS MISSING

Structures over 24" in height should have handrails and balusters to help prevent falling incidents.



Recommendation

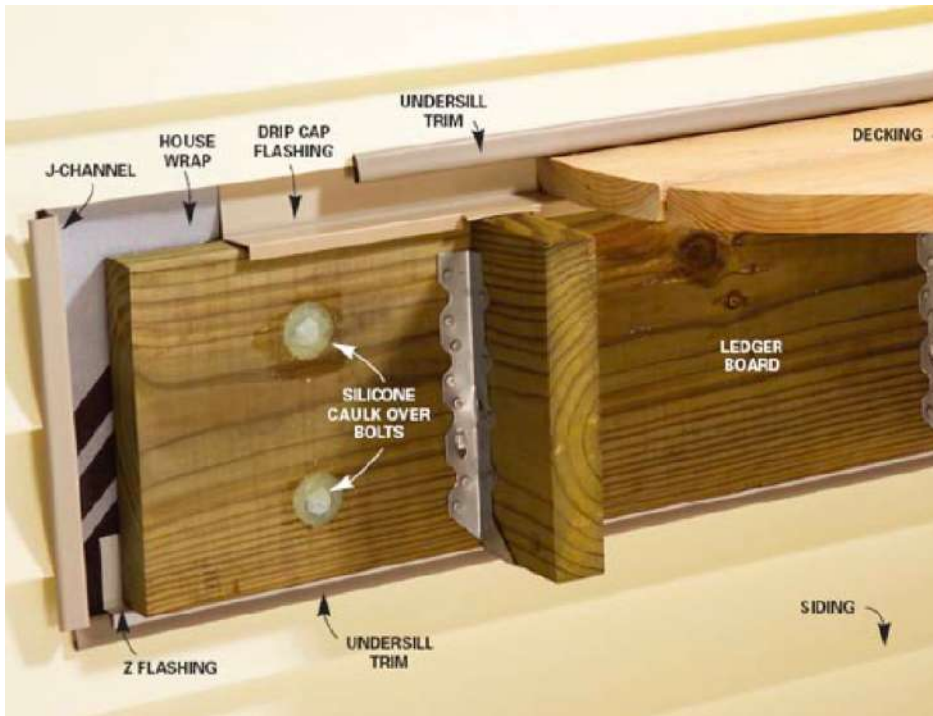
Contact a qualified carpenter.

2.7.2 Deck(s)

LEDGER BOARD - MISSING

 Improvement Recommendations

It is recommended to have ledger boards for decks to provide structural security.



2.7.3 Deck(s)

OPENINGS IN COVERING

 Common / Typical Maintenance Items

Some damage was noted to the deck covering material. It is recommended to seal this to prevent further deterioration.

Recommendation

Contact a qualified professional.



2.7.4 Deck(s)

POST - INADEQUATE SUPPORT SPAN

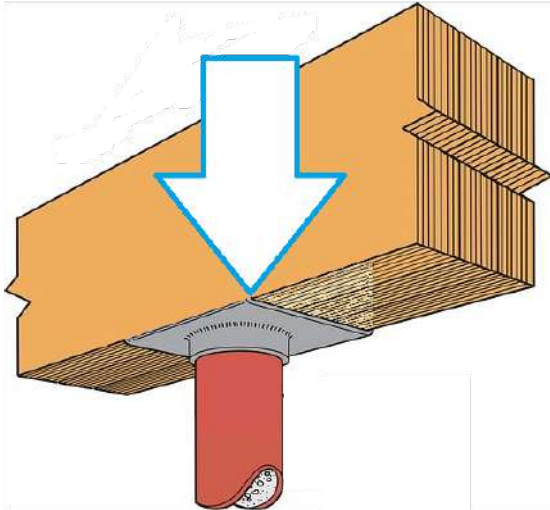
 Common / Typical Maintenance Items

Support posts should span the beam they support.

Recommendation

Contact a qualified carpenter.





2.7.5 Deck(s)

POOR SHIMMING PRACTICE

Poor shimming methods were noted for the structure. It is recommended to use steel shims.

 Common / Typical Maintenance Items



Recommendation
Contact a qualified carpenter.



2.7.6 Deck(s)

ROT

Some rot was noted at the structure. It is recommended to replace the affected materials with rot resistant components.

 Common / Typical Maintenance Items

Recommendation
Contact a qualified carpenter.

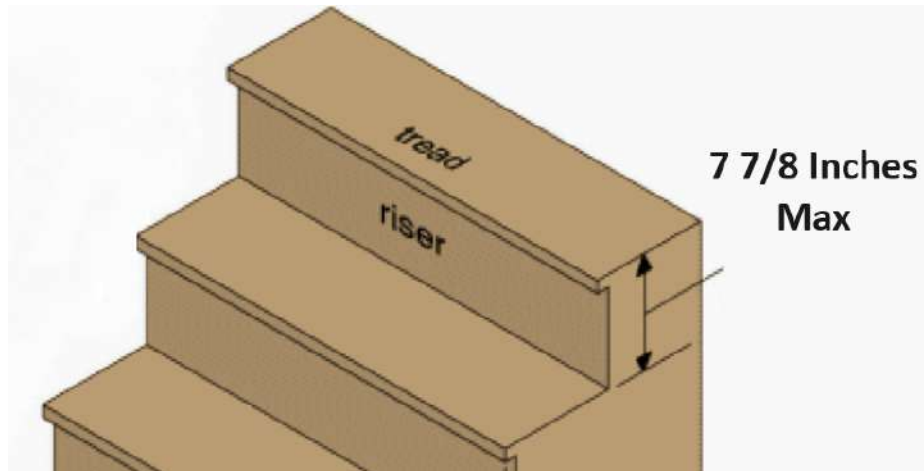


2.7.7 Deck(s)

 Common / Typical Maintenance Items

STAIRS - RISER HEIGHT TOO TALL

Risers should not be more than 7 and 7/8 inches. A qualified carpenter should rectify this.



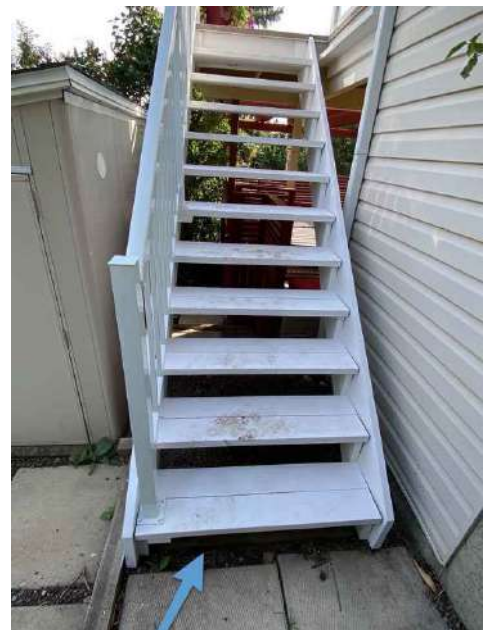
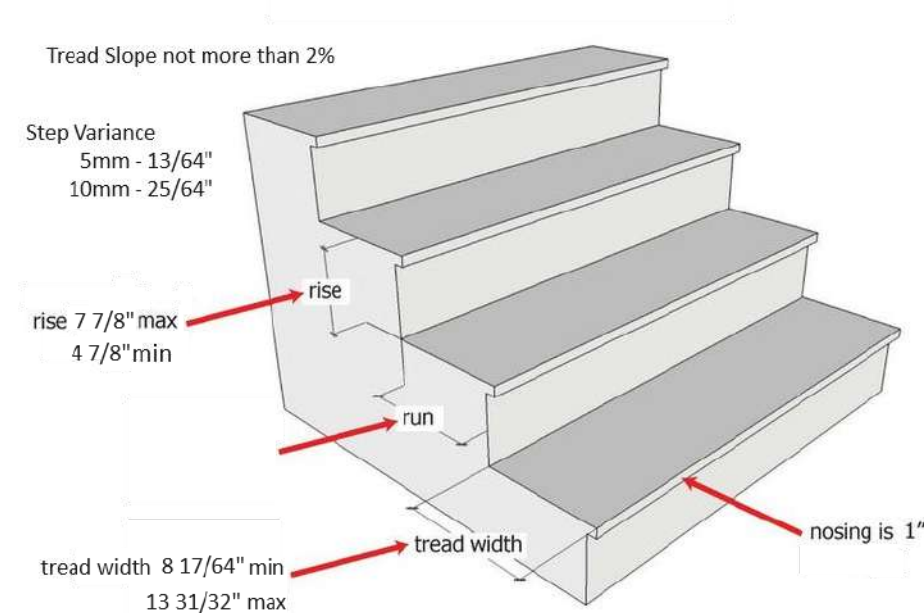
Recommendation
Contact a qualified carpenter.

2.7.8 Deck(s)

 Common / Typical Maintenance Items

STAIRS - RISER HEIGHT UNEQUAL

Riser height should be within 13/64 to 25/64 inches on steps to prevent tripping accidents.



Recommendation
Contact a qualified carpenter.

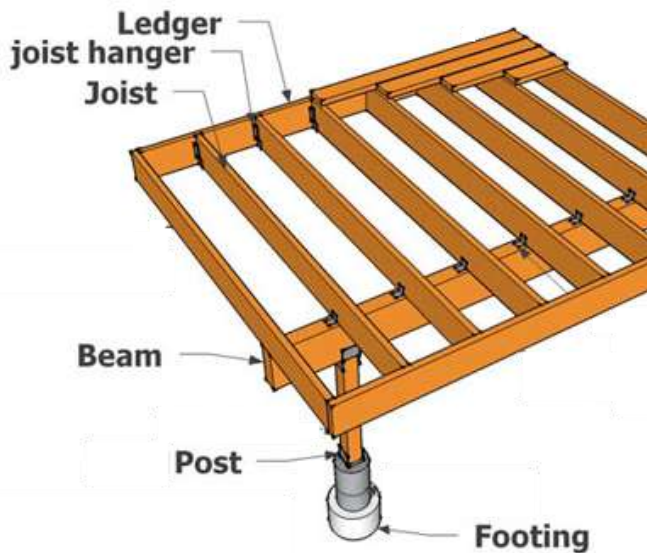
2.7.9 Deck(s)

 Common / Typical Maintenance Items

UNCONVENTIONAL FRAMING METHODS

Unconventional framing methods were noted with the structure. Typically the beam would rest on top of support posts.

Recommendation
Contact a qualified carpenter.



2.7.10 Deck(s)

WOOD SOIL CONTACT

 Common / Typical Maintenance Items

It is recommended that wood not be in contact with soil to mitigate rot.

Recommendation

Contact a qualified professional.



2.7.11 Deck(s)

CRACKED FOOTING

 Common / Typical Maintenance Items

The following footing was found to be damaged. It is recommended to fix.



2.8.1 Doors

 Common / Typical Maintenance Items

DAMAGE

One or more doors were noted to have damage.

Recommendation

Contact a qualified door repair/installation contractor.



2.8.2 Doors

 Common / Typical Maintenance Items

**WEATHERSTRIPPING
INADEQUATE**

It is recommended to install new weather stripping at the following exterior doors. Weather stripping helps to the seal against the weather.

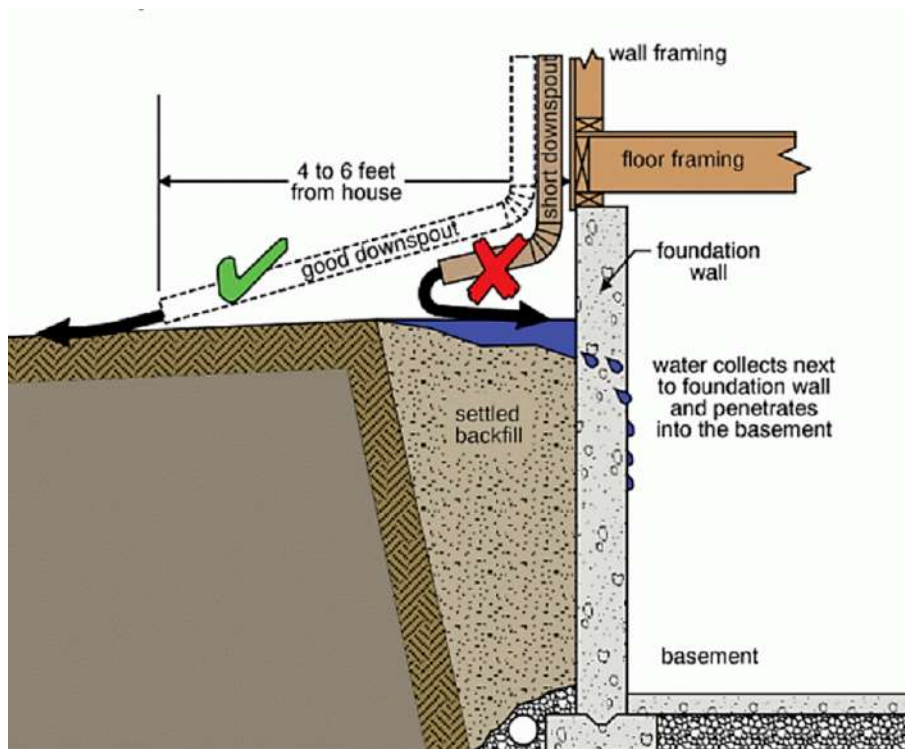


2.9.1 Downspouts / Gutters

 Common / Typical Maintenance Items

DRAIN NEAR STRUCTURE

Downspouts should always be deployed to aid in water expulsion away 6 feet from the structure. Downspout extensions should be secured to downspouts and extended away from the building. This helps to prevent water migrating into the building. Downspouts should be checked for leaks and sealed or replaced if found.



2.10.1 Driveway(s)

 Common / Typical Maintenance Items

CRACKS - CONCRETE

Cracking and or spalling was found at the driveway. A masonry sealant for concrete driveways, such as Sikaflex, can be used which may help prevent further expansion of the cracks by preventing water penetration and further cracking when it freezes in colder temperatures. For asphalt driveways, it is recommended to seal openings with an approved sealant.



2.11.1 Dryer Vent

VENT DAMAGE

 Common / Typical Maintenance Items

It is recommended to repair or replace the dryer vent.

Recommendation

Contact a qualified professional.



2.15.1 Fence

LEANING

 Common / Typical Maintenance Items

One or more areas of the fence line were noted to be leaning. It is recommended that a qualified contractor repairs this.

Recommendation

Contact a qualified carpenter.



2.15.2 Fence

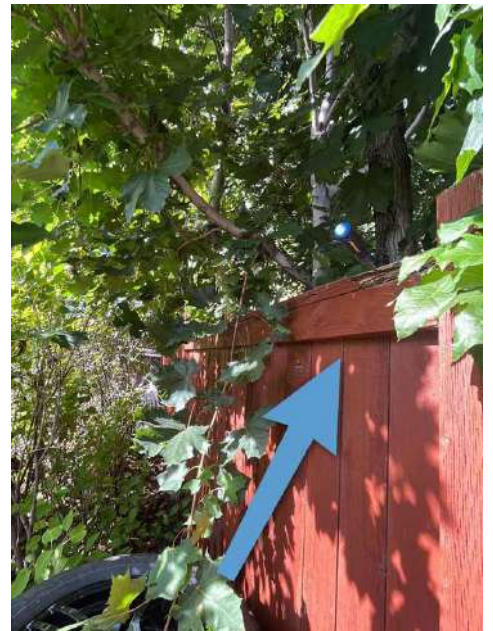
 Common / Typical Maintenance Items

ROT

Rot was noted in several areas of the fence line. It is recommended to budget for replacement components.

Recommendation

Contact a qualified carpenter.



2.15.3 Fence

 Common / Typical Maintenance Items

SERVICE REQUIRED

Some areas of the fence line require servicing.

Recommendation

Contact a qualified carpenter.



2.15.4 Fence

 Common / Typical Maintenance Items

VEGETATION TOO CLOSE

It is recommended to keep vegetation away from the fenceline as it may push on the fence, harbours critters, and moisture.



Recommendation
Contact a qualified handyman.



2.17.1 Foundation

 Improvement Recommendations

CRACK(S) IN FOUNDATION - VERTICAL

One or more cracks in the foundation walls were found. Cracks should be monitored for water penetration and growth. It is recommended that all cracks and fissures be sealed to prevent water migration. An epoxy resin injection should be used on clean dry cracks while a polyurethane foam injection can be used in active and or dirty cracks. It should be noted that the epoxy injection provides structural bearing while the polyurethane foam does not.

Recommendation
Contact a foundation contractor.

Crack repair - epoxy and polyurethane injection

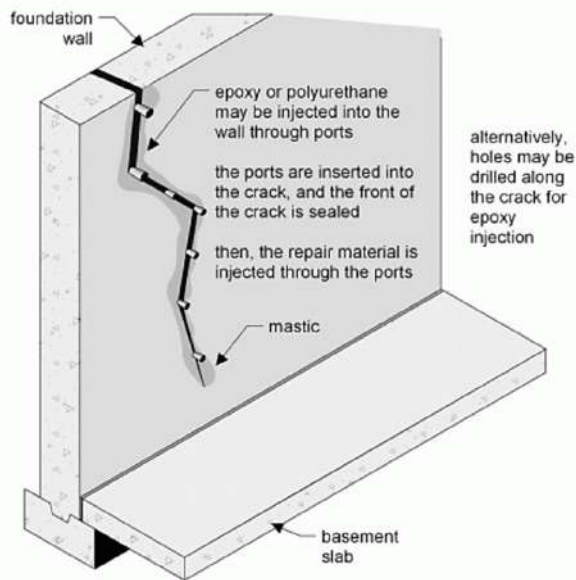
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

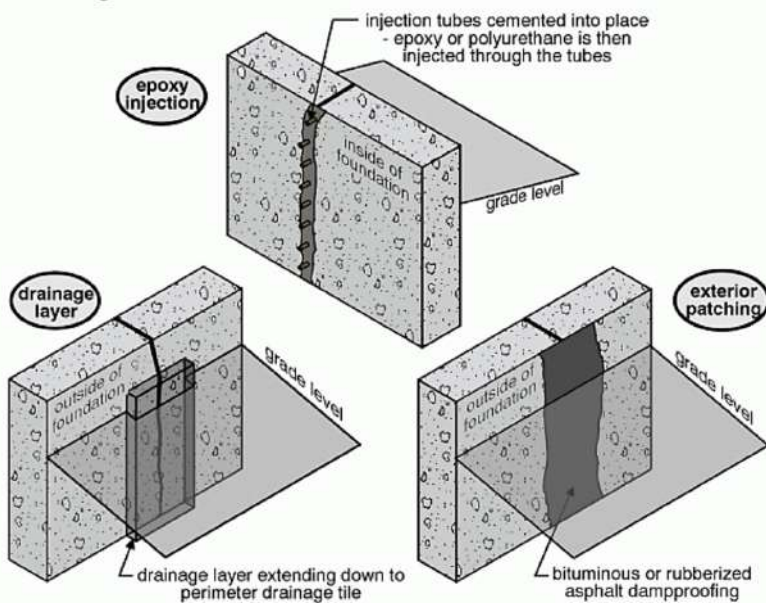
do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



Patching cracks



2.21.1 GFCI / Outlets

 Common / Typical Maintenance Items

NO GFCI - POST 1974

It is recommended that GFI-protected receptacles be installed when found outside below 2.5 meters. It is recommended to have a qualified electrician install these.

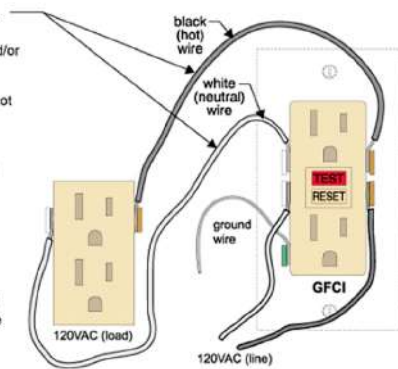
Ground fault circuit interrupter
also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



Recommendation

Contact a qualified electrical contractor.

2.22.1 Grading

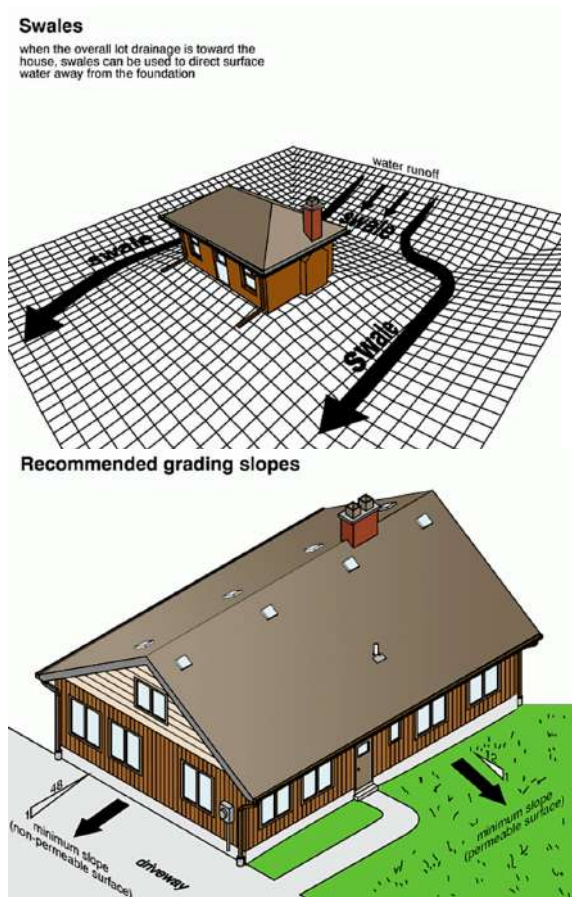
 Common / Typical Maintenance Items

POOR GRADING



It is recommended that the grading around the structure be positive; meaning that it should slope away. This helps prevent water penetration into the structure. Fill areas that have settled next to the structure with clay—not topsoil— with a positive slope away from the structure (10 per cent is recommended). It should be noted that rock, gravel, mulch, etc. drains water down the exterior wall and not away. It is unknown what the grading is below these materials.

[Here is a helpful article](#) discussing negative grading.



2.31.1 Retaining Walls

ROT

One or more areas were noted to have rot. It is recommended to budget to repair the affected components.

Recommendation

Contact a qualified professional.



Common / Typical Maintenance Items

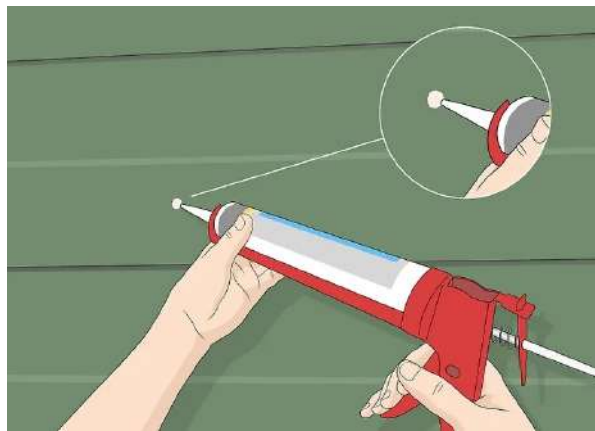


2.33.1 Siding

DAMAGE - VINYL

 Common / Typical Maintenance Items

Damage was noted at the siding. It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure.



Recommendation
Contact a qualified siding specialist.



2.33.2 Siding

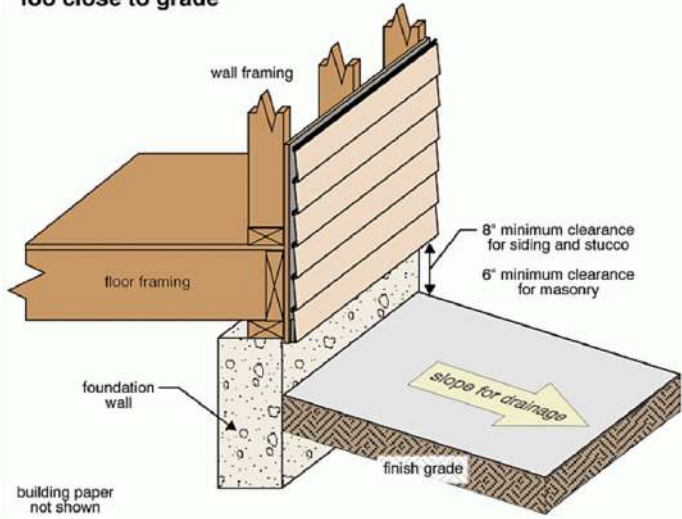
GROUND CLEARANCE

 Common / Typical Maintenance Items

It is recommended to have a minimum 6" clearance between the siding and the grading of the structure to allow the air to wick away any water on the exterior wall. Siding that is adversely affected by moisture requires 8" clearance from grade. In addition, this helps mitigate damaging the siding from freezing water.

Recommendation
Contact a qualified siding specialist.

Too close to grade

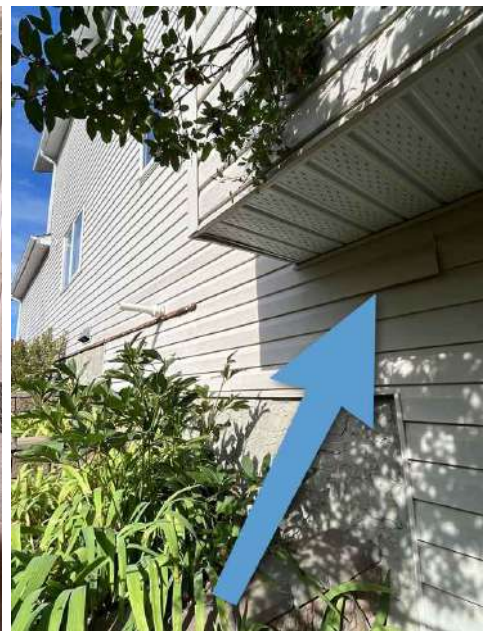


2.33.3 Siding

LOOSE SIDING

It is recommended that siding be properly attached to prevent weather damage.

 Common / Typical Maintenance Items



2.33.4 Siding

UNSEALED OPENINGS

It is always recommended to seal / caulk any gaps and penetrations around the building envelope. Doing so helps prevent weather and critters from entering and damaging the structure.

Recommendation

Contact a qualified siding specialist.

 Common / Typical Maintenance Items



2.33.5 Siding

WARPING/BUCKLING

 Common / Typical Maintenance Items

Vinyl siding was warping or buckling in areas. This is often as a result of nailing siding boards too tight to the home preventing expansion/contraction or using BBQs too close to the structure.

Recommendation

Contact a qualified siding specialist.

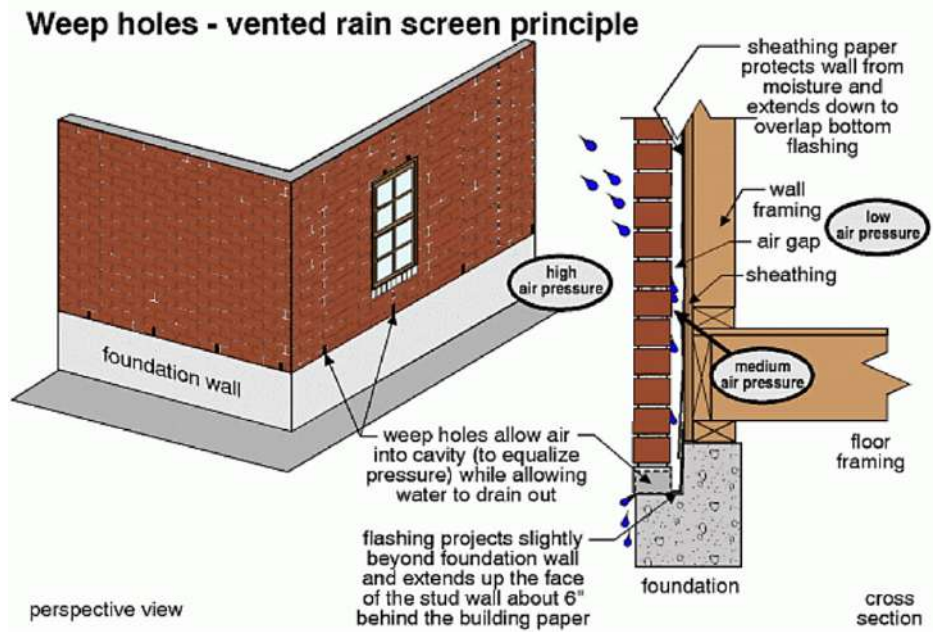


2.33.6 Siding

 Common / Typical Maintenance Items

WEEP HOLES MISSING

Weep holes were noted to be missing. It is recommended these be added every 32" at a minimum to allow water drainage from between the brick and the structure.



Recommendation

Contact a qualified masonry professional.

2.36.1 Steps

 Common / Typical Maintenance Items

CRACKS / SPALLING IN STAIRS

The entrance steps were given a brief inspection. Typical cracks and spalling were noted. It is recommended these areas be repaired to prevent further deterioration.



Recommendation

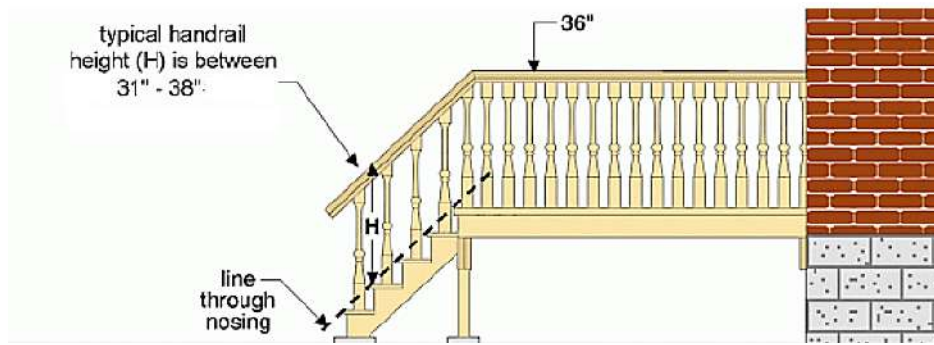
Contact a qualified concrete contractor.

2.36.2 Steps

 Common / Typical Maintenance Items

HANDRAILS RECOMMENDED

It is recommended to install handrails and balusters to help prevent falling incidents.



Recommendation

Contact a qualified carpenter.

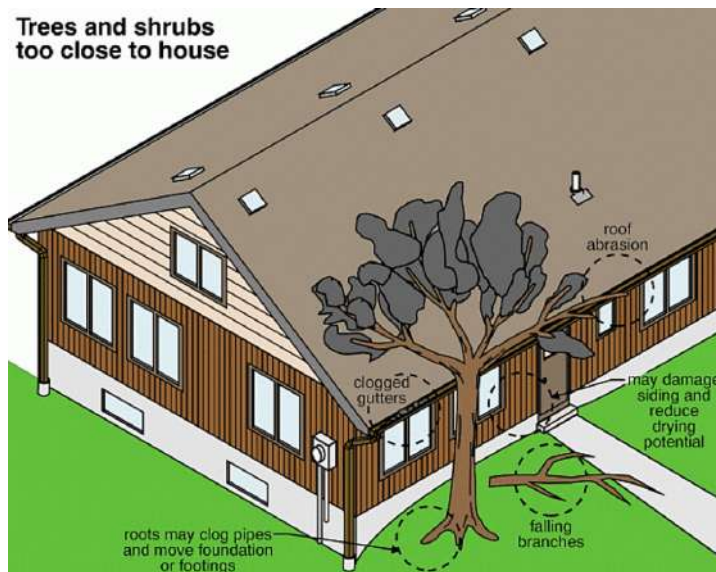


2.41.1 Vegetation

 Common / Typical Maintenance Items

VEGETATION TOO CLOSE

Trees and shrubs should be kept away 12 inches from structures as they can damage them. In addition, vegetation gives off lots of moisture and often harbours critters.



Recommendation

Contact a handyman or DIY project



2.43.1 Walkway(s)

 Common / Typical Maintenance Items

CRACKS / DAMAGE

Typical cracking and or spalling was found at the walkway. A masonry sealant, such as Sikaflex, can be used which may help prevent further expansion of the cracks by preventing water penetration and further cracking when it freezes in colder temperatures.



Recommendation
Contact a qualified landscaping contractor

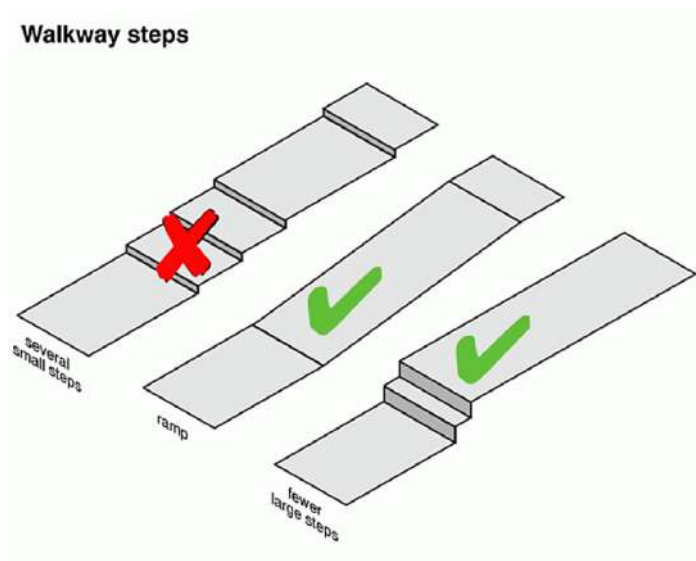


2.43.2 Walkway(s)

 Common / Typical Maintenance Items

UNEVEN WALKWAY

It is recommended to have level walkways to prevent tripping hazards.



Recommendation
Contact a qualified landscaping contractor



2.44.1 Windows

 Common / Typical Maintenance Items

DAMAGE

One or more windows were noted to be damaged and should be repaired or replaced.

Recommendation
Contact a qualified window repair/installation contractor.

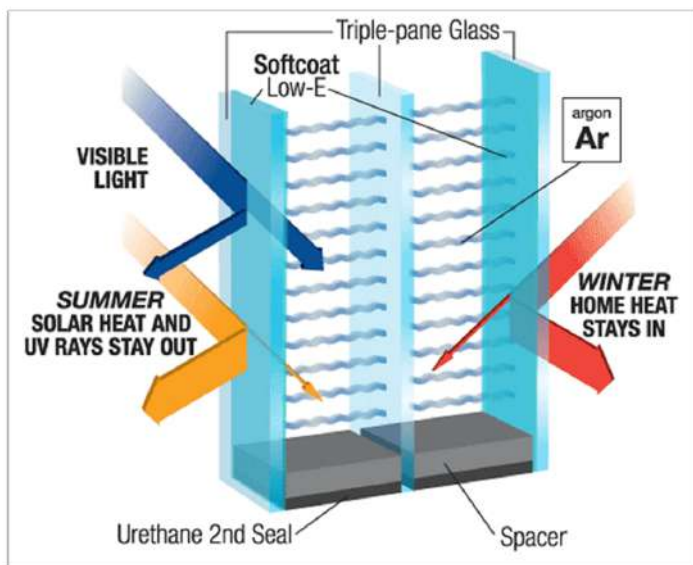


2.44.2 Windows

 Improvement Recommendations

SEAL / GLAZING FAILURE

One or more windows appear to have a failed glazing / seal. Although often considered a cosmetic issue, mold and wood rot may be a side product in the future. It is recommended to budget to replace the unit.



Recommendation
Contact a qualified window



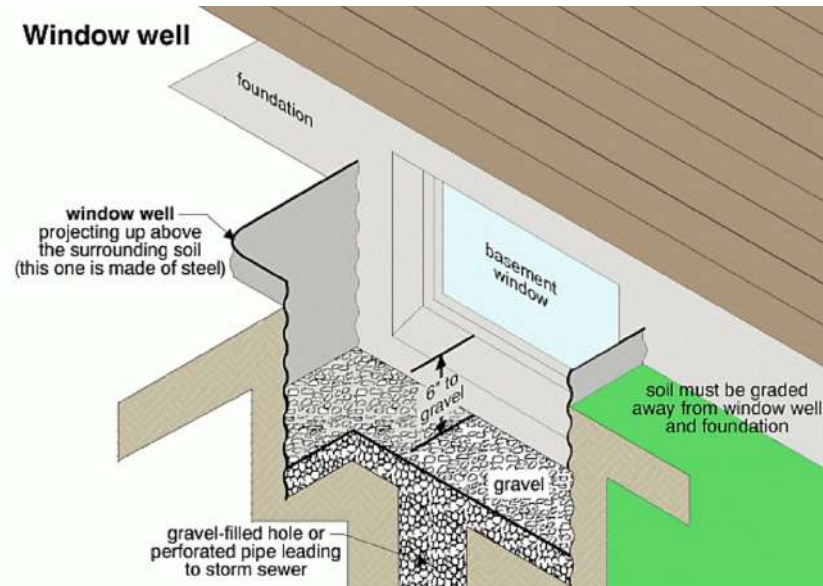
repair/installation contractor.

2.44.3 Windows

 Common / Typical Maintenance Items

WINDOW WELL(S) MISSING

It is recommended to have window wells around basement windows to prevent water intrusion and deterioration around the framing. It is recommended to install window well covers to reduce the amount of moisture intrusion and to increase the energy efficiency of windows. It should be noted that the cover should not be affixed / secured to the structure for egress purposes.



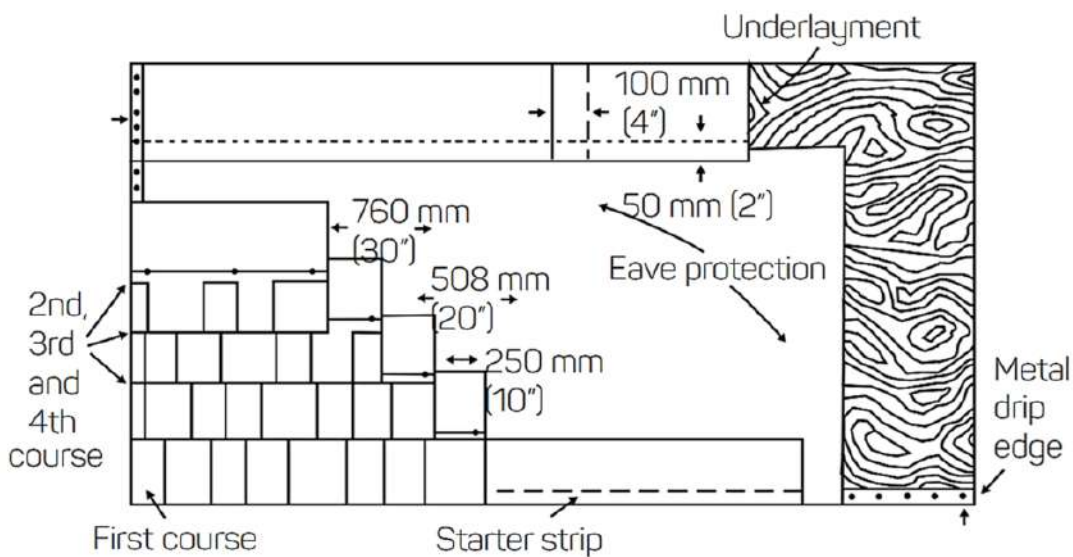
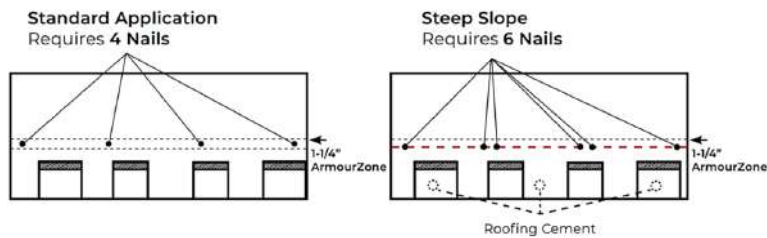
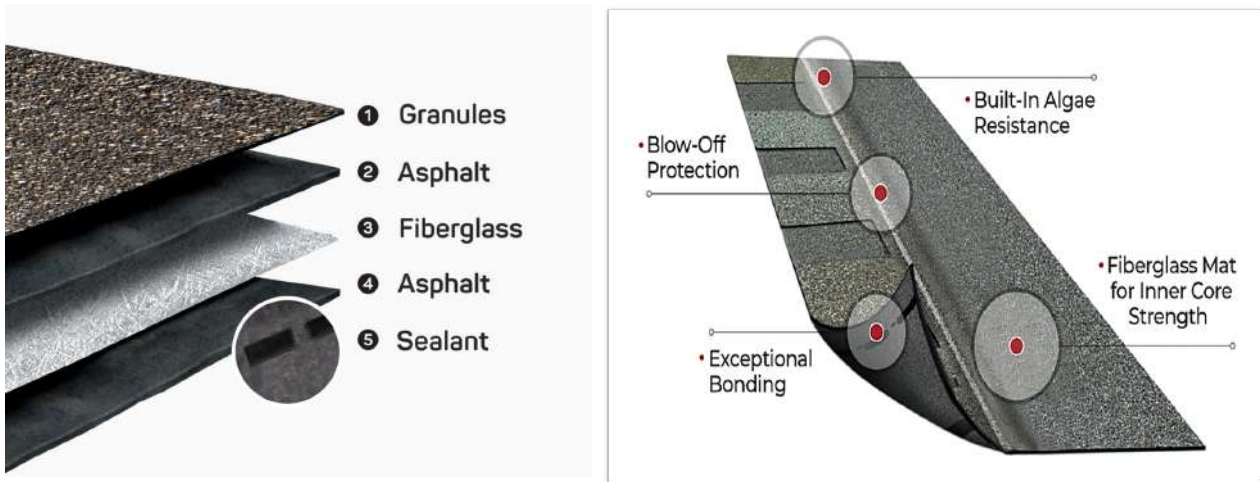
Recommendation
Contact a qualified carpenter.

3: ROOF

Information

Coverings: Asphalt Shingles - Laminated

The roof was inspected. It should be noted that sloped roofs are designed to be "water shedding" and NOT waterproof. Thus, as the roof covering material deteriorates; its water shedding capabilities diminish. In addition, south western exposures, along with valleys, often degrade roof covering material more readily due to the sun exposure. It is recommended to install metal "W" valleys with the next roofing if valleys are present on the roof line.





Coverings: Walking on roofs

It is recommended that only trained professionals inspect or work on roof surfaces due to safety concerns.

Deficiencies

3.2.1 Coverings

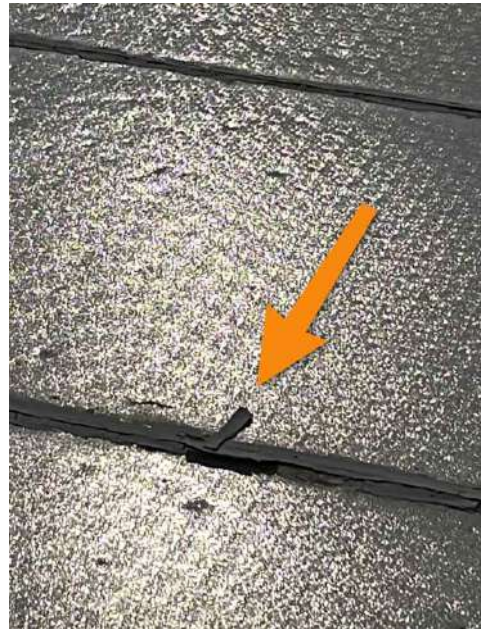
DETERIORATING SEALANTS

Various areas were noted to have sealants that are deteriorating. These should be budgeted to be repaired.

Recommendation

Contact a qualified roofing professional.





3.2.2 Coverings

LOOSE

 Common / Typical Maintenance Items

Some of the roof covering materials were noted to be loose on the roof line. It is recommended to better secure the units.



Recommendation
Contact a qualified roofing professional.



3.3.1 Downspouts / Gutters

 Common / Typical Maintenance Items

DEBRIS

Gutters and downspouts should be maintained regularly to ensure they are free of debris so that they can aid in the expulsion of water.

[Here is a DIY resource](#) for cleaning your gutters.



3.3.2 Downspouts / Gutters

 Common / Typical Maintenance Items

DISCHARGE ONTO LOWER ROOF

It is recommended that all downspout and gutter discharge from upper to lower roofs be connected to the nearest gutter system via downspout extension. This prevents the premature erosion of the roof covering materials directly below the downspout from the upper roof.



Recommendation
Contact a qualified gutter contractor

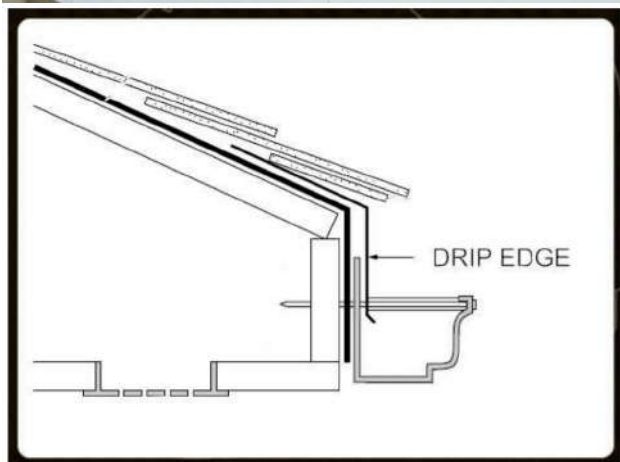


3.4.1 Flashings

 Common / Typical Maintenance Items

DRIP EDGE NOT INSTALLED

No drip edge flashing was noted on the roof line. While this is not a requirement, it is recommended drip edge flashing be added as it helps to prevent water migrating up and underneath the roof covering material and rotting out the sheathing below.



Recommendation
Contact a qualified roofing professional.

3.8.1 Roof Vents

 Common / Typical Maintenance Items

INADEQUATE AIR MOVEMENT - VENTILATION FAN

Inadequate air flow was noted at the following fan(s). This should be further investigated.

Recommendation

Contact a qualified handyman.



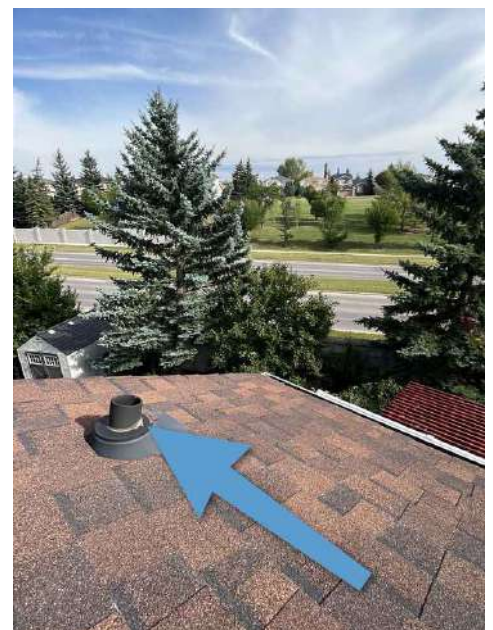
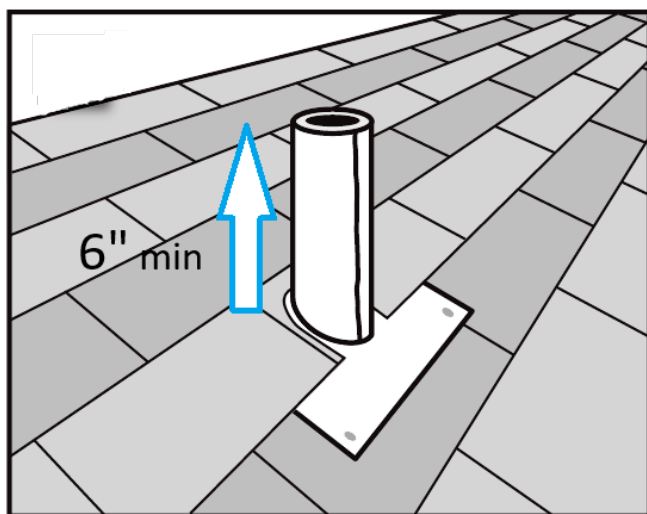
Primary Bathroom

3.11.1 Vent Stacks

 Common / Typical Maintenance Items

VENT PIPE SIZE - TOO SHORT

It is recommended to upsize the following vent termination to mitigate frost enclosure during the colder season.



Recommendation

Contact a qualified plumbing contractor.

4: GARAGE

Information

Attic: Inspected

The attic space was given a brief inspection.

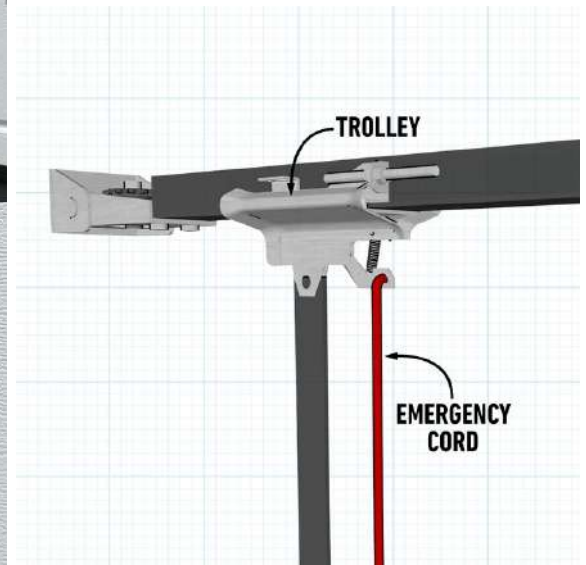
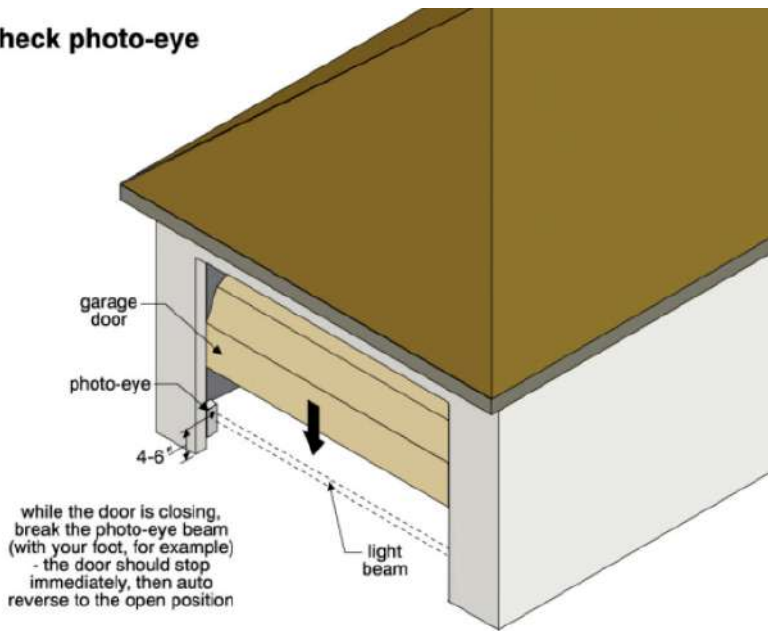


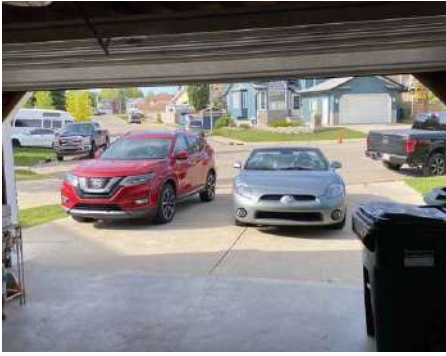
R12

Garage Door: Garage Door Operation

The vehicle door system was tested for dual sensors; laser eye beams and negative pressure. It is recommended to reprogram the remotes after purchasing the home. It is recommended every 6 months to lubricate all moving parts with a silicon spray. The red handle attached to the opener is the garage door emergency release. It will disengage the overhead door from the opener should you have a loss of power to the opener.

Check photo-eye





Limitations

Stored Items

STORED ITEMS

Due to storage, the inspection was limited.



Deficiencies

4.10.1 Floor

TYPICAL CRACKS



Typical cracks and spalling were noted on the garage concrete slab. It is recommended to seal these areas to prevent further deterioration. A concrete based sealer, such as Sikaflex, may be used.



Recommendation
Contact a qualified driveway contractor.

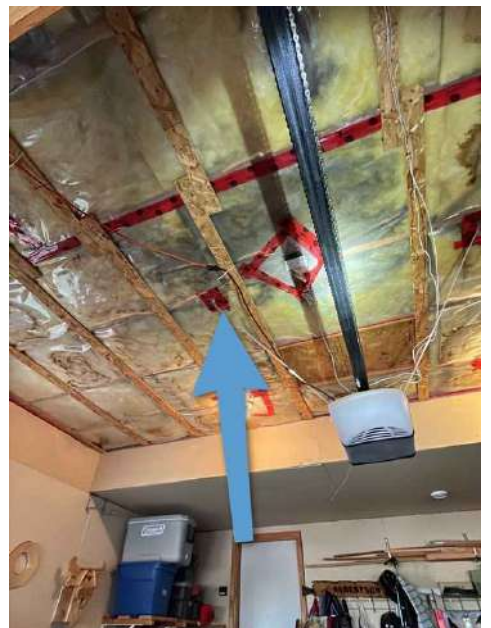
4.12.1 Garage Door

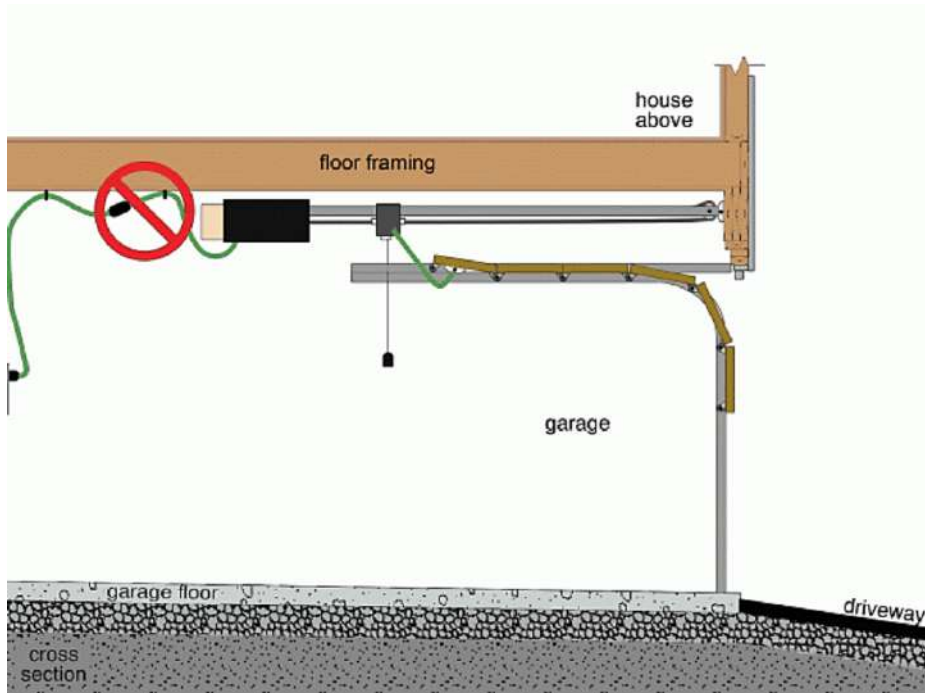
 Common / Typical Maintenance Items

EXTENSION CORD USE

Extension cords should not be used as a permanent power source.

Recommendation
Contact a qualified electrical contractor.





4.17.1 Hazardous Materials

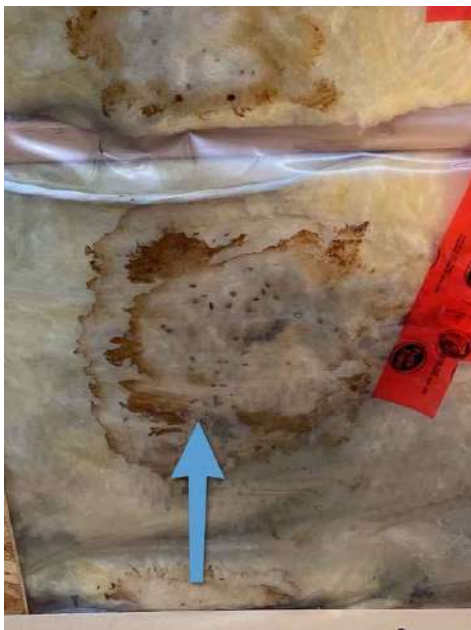
EVIDENCE OF VERMIN

 Common / Typical Maintenance Items

Evidence of vermin was noted at the structure. It is recommended these be removed and traps or possible pest control expert employed.

Recommendation

Contact a qualified pest control specialist.



4.17.2 Hazardous Materials

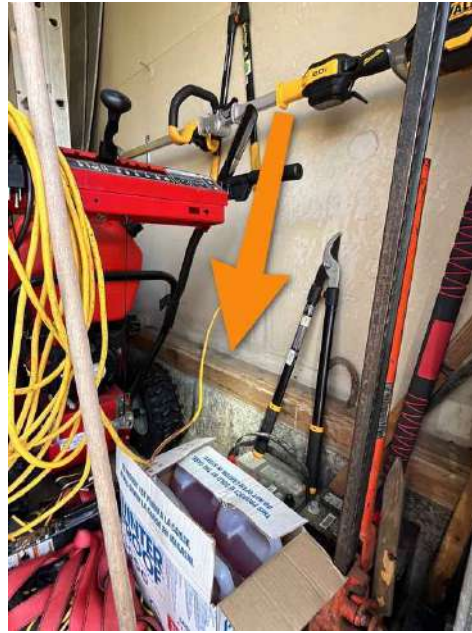
POSSIBLE ORGANIC GROWTH

 Improvement Recommendations

One or more areas were found to have, what appears to be organic growth. It is recommended to remove this by either using a mold killing agent or replacing the building material. With any renovations, additional signs of water damage may be found.

Recommendation

Contact a qualified mold remediation contractor



5: HEATING

Information

Main Heat Source: Age
Years Old: 7 (2017)

Main Heat Source: Location of
Thermostat(s)
Main Floor



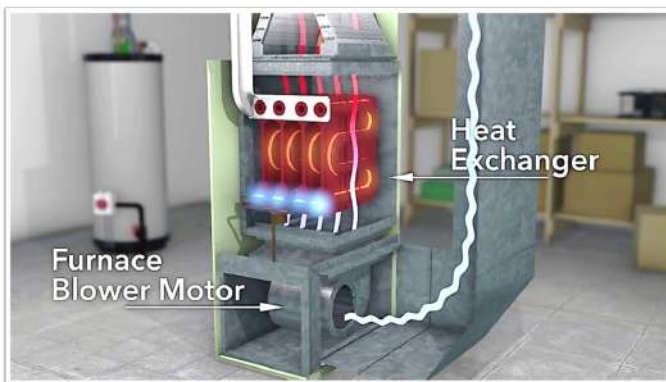
Distribution Systems: Electric Heat Source

The electric heating was inspected and performed well during the inspection.



Distribution Systems: Forced Air Ducts

The heat distribution was checked within the visible duct work. It should be noted that duct / grills furthest away from the furnaces will not be as warm as those closer.



Gas Fireplace: Inspected

The gas fireplace was inspected. It should be noted that this consists of functioning the unit. Checking for proper installation, combustible clearances, and venting is beyond a home inspection. A qualified gas fitter should be consulted for these items.



Gas Testing: Carbon Monoxide Test

A carbon monoxide test was completed at the time of the inspection. No issues were found at the time of the inspection.



100 ppm	.01%	Slight headache in two to three hours
200 ppm	.02%	Slight headache within two to three hours
400 ppm	.04%	Frontal headache within one to two hours
800 ppm	.08%	Dizziness, nausea, and convulsions within 45 minutes. Insensible within two hours.
1,600 ppm	.16%	Headache, dizziness, and nausea within 20 minutes. Death in less than two hours.
3,200 ppm	.32%	Headache, dizziness and nausea in five to ten minutes. Death within 30 minutes.
6,400 ppm	.64%	Headache and dizziness in one to two minutes. Death in less than 20 minutes.
12,800 ppm	1.28%	Death in less than three minutes.



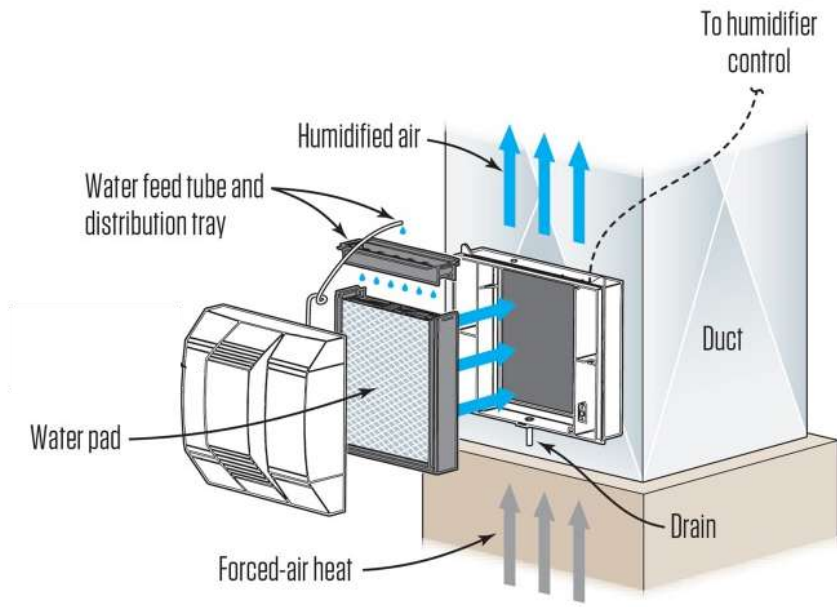
Gas Testing: Natural Gas Detection Test

A combustible gas detector was used to inspect readily accessible gas fittings. No issues were found at the time of the inspection.



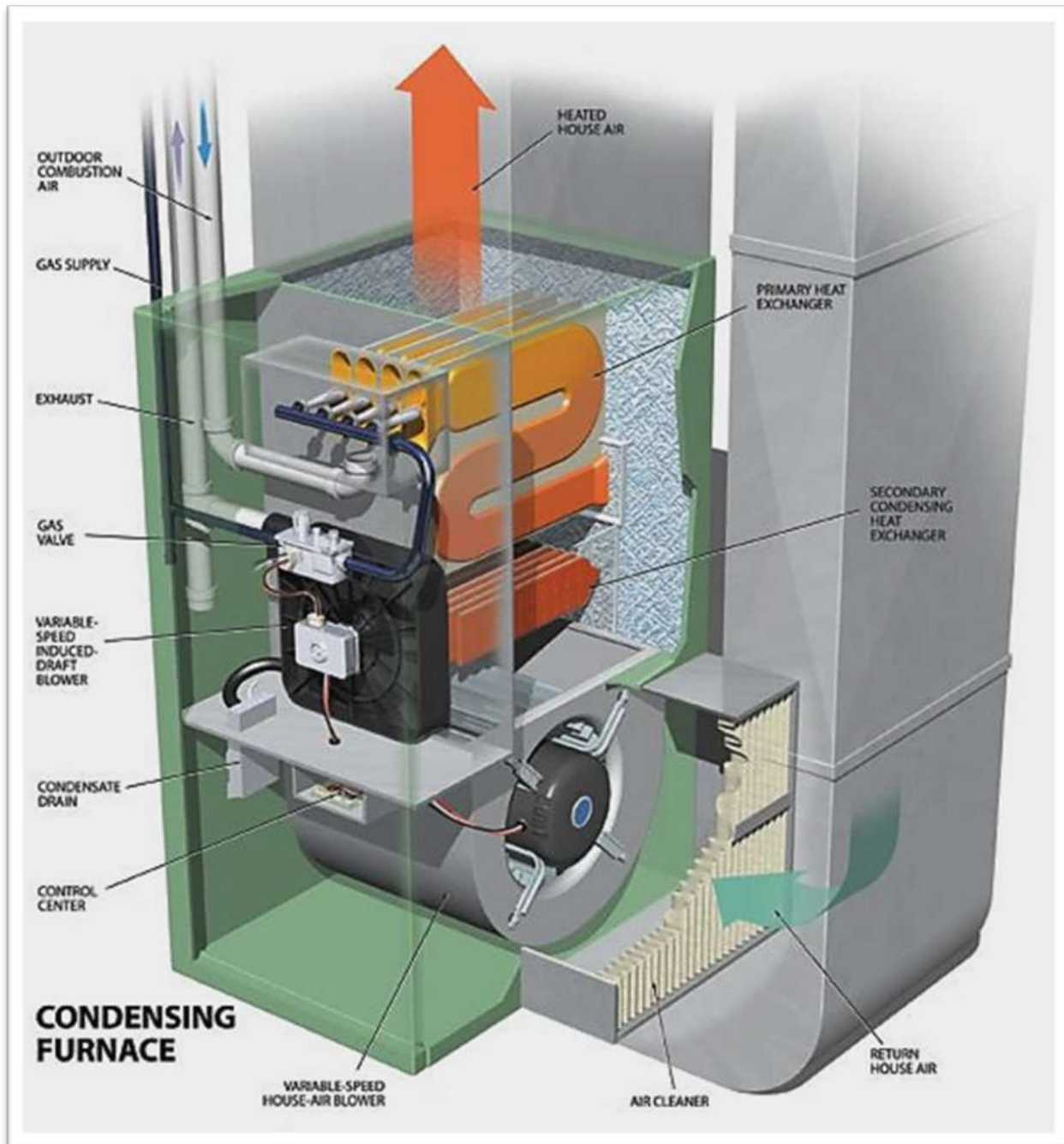
Humidifier: Cascading / Trickle / Flow Through

The humidification system was inspected. It is recommended to have a humidity setting between 25 - 30 % year-round. The pads should be cleaned or replaced annually.



Main Heat Source: Forced Air Furnace - Category 4

The forced air heating system was inspected. The system operated well at the time of the inspection. It is recommended to have these units serviced every 3 years, depending on use. Furnace filters should be checked on a monthly basis and replaced when needed. Proper insertion of the filter directs the arrow on the filter towards the furnace blower. Unless the occupants of the structure suffer from allergens, it is recommended to use thin filters which create less strain on the furnace unit than thicker filters. If an AC unit is present, it is vital to use thin filters as thick ones may ice up further restricting the air flow.





Limitations

Main Heat Source

BASIC FUNCTIONS

It should be noted that a basic function of thermostats / operation of the HVAC system is performed. Hi Limit / Fan switches etc. are not tested.

Deficiencies

5.4.1 Distribution Systems

DEBRIS IN SYSTEM



Debris was found in the duct work. These should be cleaned every 3-5 years depending on use. Dirty duct work can affect the quality of air in the structure resulting in allergy like symptoms. Occupants may install filtered return air duct grilles, but this installation should be consulted with an HVAC installer to ensure adequate air flow reaches the mechanical system. These can be readily purchased from local hardware stores.



Recommendation
Contact a qualified HVAC professional.



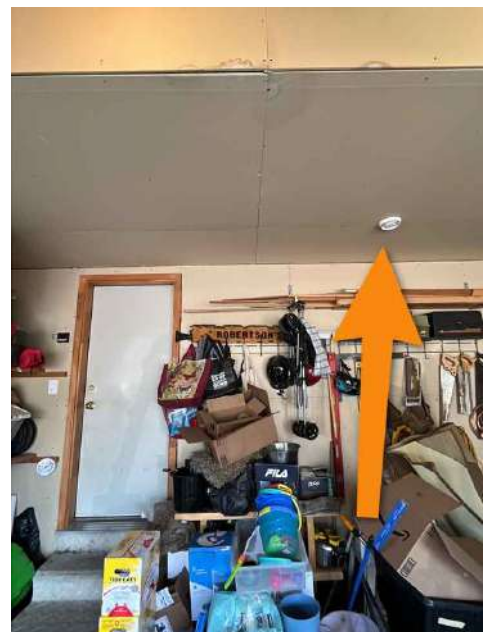
5.4.2 Distribution Systems

 Common / Typical Maintenance Items

DUCT IN GARAGE

HVAC systems should not be shared between dwellings and garages. This should be terminated.

Recommendation
Contact a qualified HVAC professional.



5.6.1 Gas Fireplace

CLEAN / SERVICE UNIT

It is recommended to clean the unit.

 Common / Typical Maintenance Items

Recommendation

Contact a qualified fireplace contractor.



Upper Floor



Upper Floor



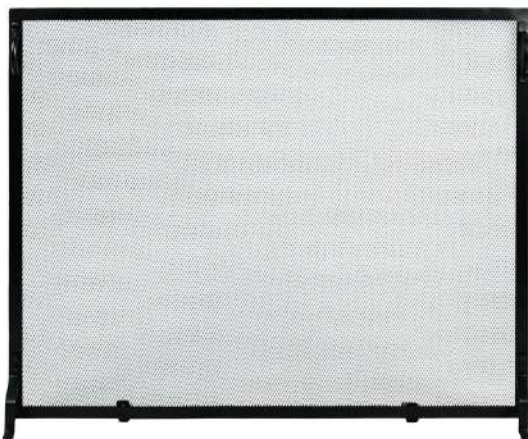
5.6.2 Gas Fireplace

NO SCREEN

It is recommended to install metal screens for fireplaces to prevent burns.

 Common / Typical Maintenance Items

Recommendation
Contact a qualified
fireplace contractor.



5.10.1 Humidifier

DIRTY PAD

It is recommended to clean or replace the pad as it was noted to have build up.

 Common / Typical Maintenance Items



Recommendation

Contact a qualified professional.

5.11.1 Main Heat Source

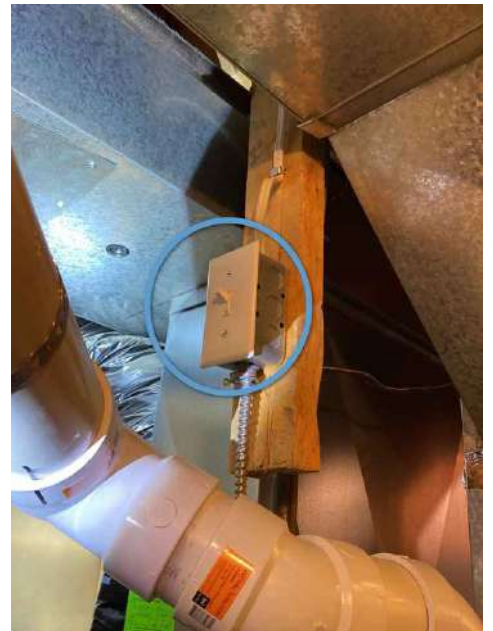
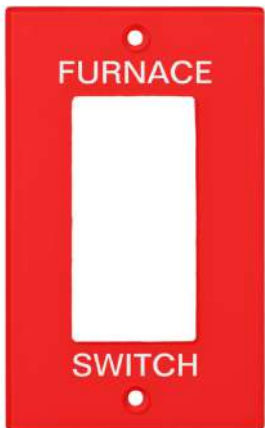
 Common / Typical Maintenance Items

DISCONNECT NOT LABELED

It is recommended to label disconnect switches.

Recommendation

Contact a qualified professional.



5.11.2 Main Heat Source

 Common / Typical Maintenance Items

WATER MARKS NOTED - CAT. 4

While no active leaks were found in the following heat source, water marks were noted. It is recommended to service and monitor the unit.

Recommendation

Contact a qualified HVAC professional.



6: PLUMBING

Information

Water Heater : Age

Age of Unit(s):
8 (2016)

Water Heater : Capacity

40 Gallons

Water Heater : Water Supply Type

Public



Fixtures: Toilet

This is a schematic of common water closets (toilets) and is meant for informational purposes. This fixture schematic may not necessarily represent the water closets found in the structure. It should be noted that we do not test any overflows for any fixtures.



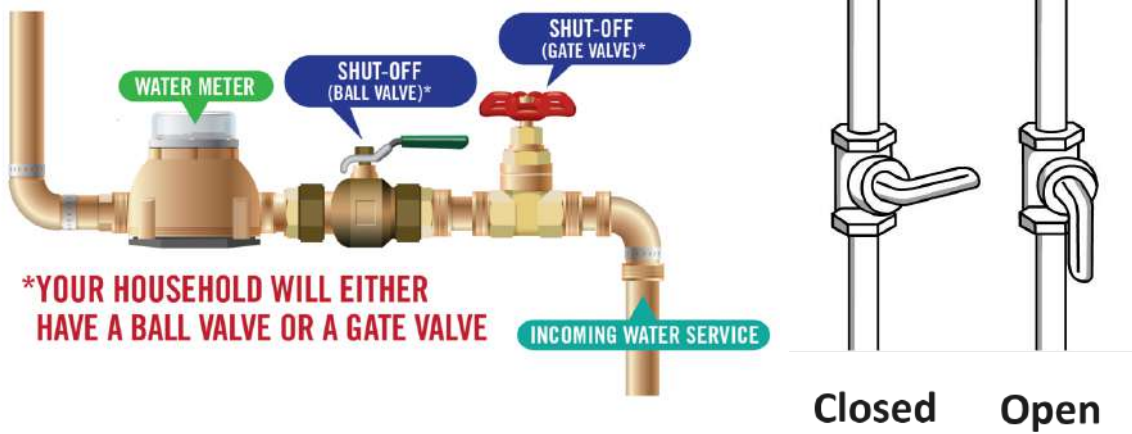
Water Heater : Water Heater Thermostat - Electronic Dial

Turning down the temperature of hot water heaters can save energy and prevent scalding. Below are the three most common types of thermostats.



Water Heater : Main Water Shut Off - Ball Valve

In case of a water emergency, this valve should be turned to shut off the water supply to the structure. It should be noted that these valves are not tested during the property inspection; these valves may fail to seal or turn due to wear and tear or lack of use. It is recommended to confirm that these shut off valves function correctly. Lastly, it should be noted that older valves may not work properly meaning they may not shut the water off or may leak when used.

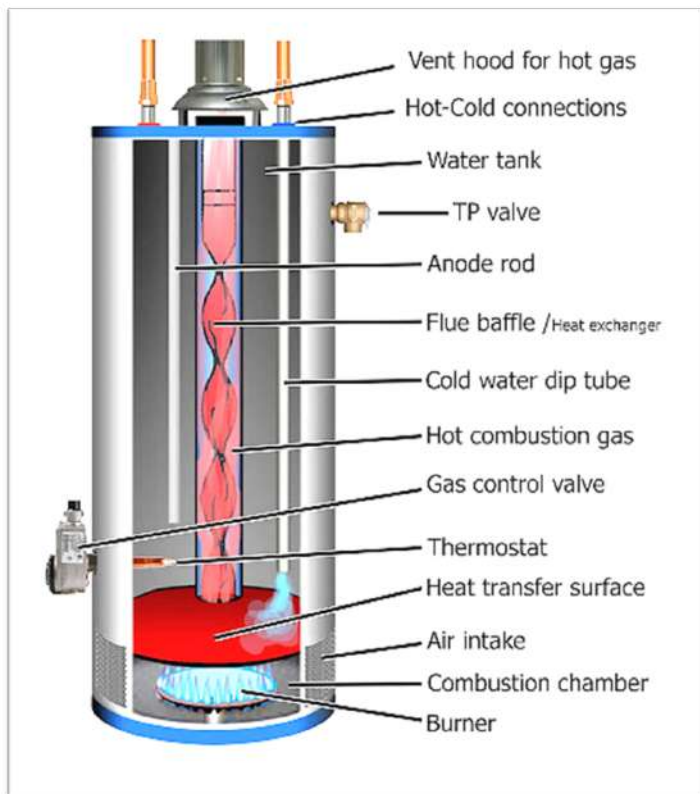


***YOUR HOUSEHOLD WILL EITHER HAVE A BALL VALVE OR A GATE VALVE**



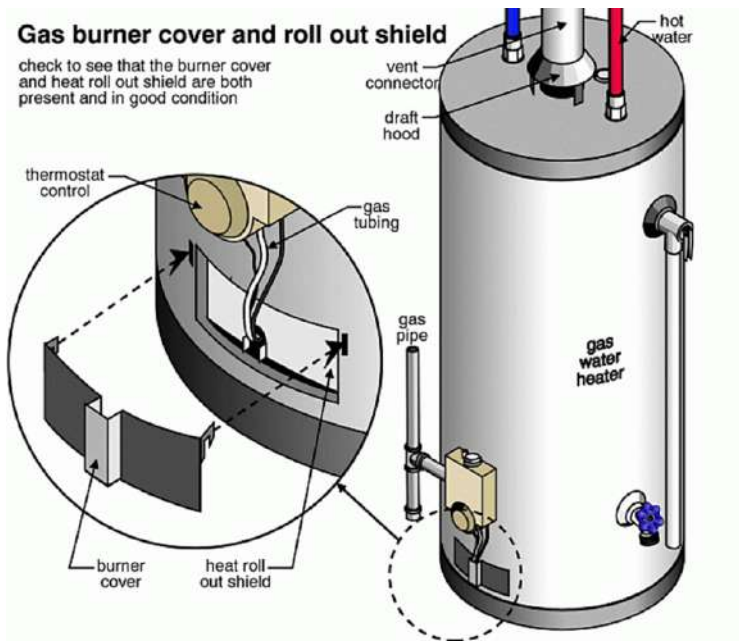
Water Heater : Tanked Water Heater - Natural Draft**Gas**

The water heating system was inspected. Proper maintenance of the unit, such as annual drainage along with bi-annual rod replacement have shown to increase the life span of these systems. If the structure has been vacant for more than 4 weeks, it is recommended to flush the water from water heater to mitigate any exposure of waterborne pathogens. The main fuel supply shut off valve is located by tracing the gas line from the gas valve back until the location of a valve is found.



Gas burner cover and roll out shield

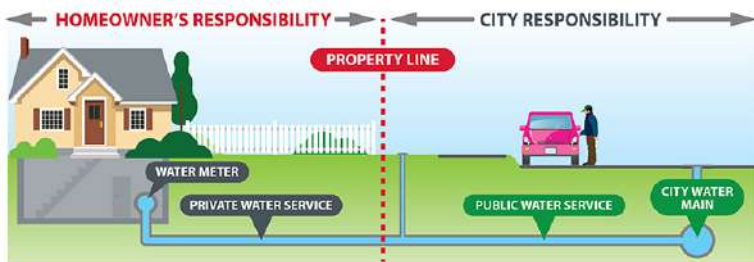
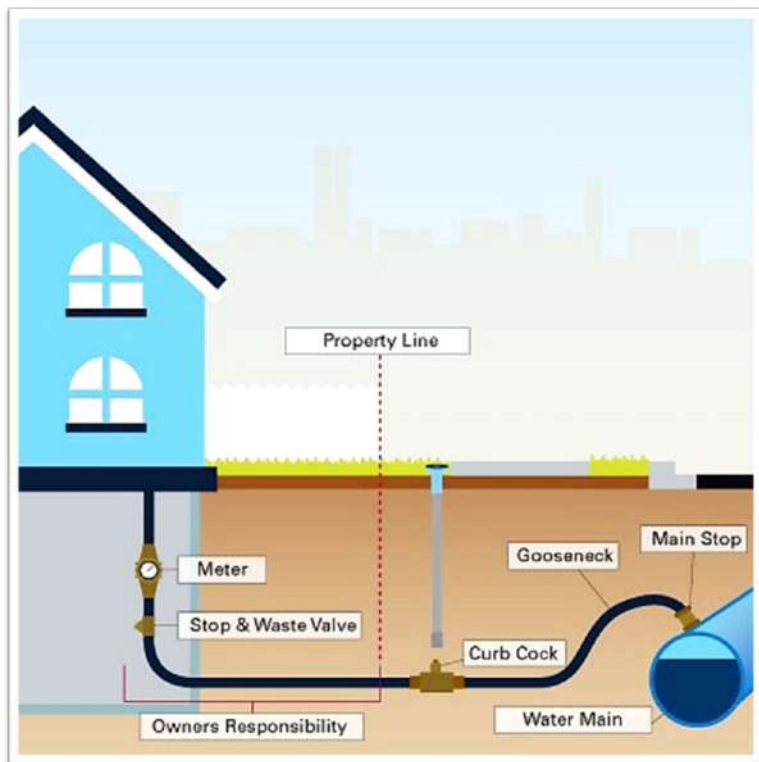
check to see that the burner cover and heat roll out shield are both present and in good condition



Water Supply, Distribution Systems : Main Water Line

PolyB

This is a schematic of common water supply line installations and is meant for informational purposes. This schematic may not necessarily represent the installation of the water line found in the structure. It should be noted that the water distribution lines inside the structure are not completely visible.



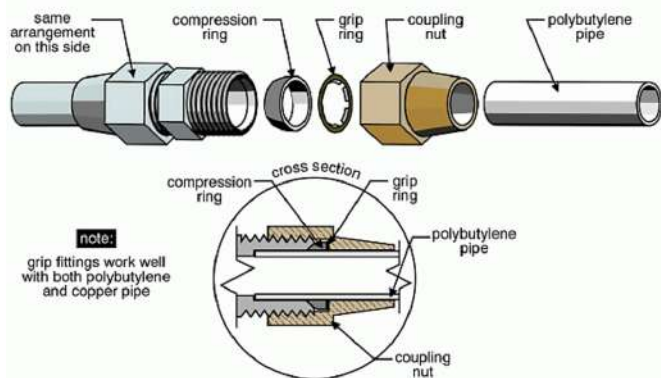
Water Supply, Distribution Systems : Water Distribution Material - Pex

The plumbing lines in the structure are Pex. It is recommended that the potential buyer inform their insurance provider of the brand to ensure that this does not pose a concern. Generally Pex piping is not a concern.

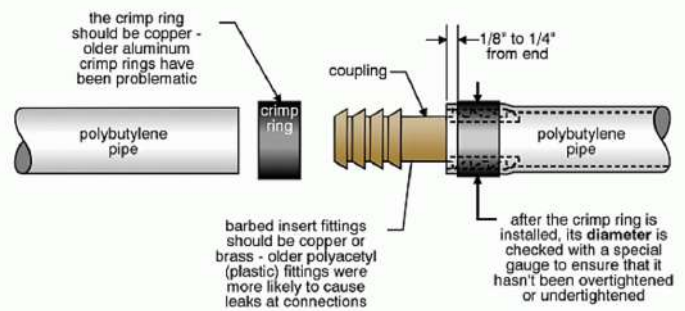
Water Supply, Distribution Systems : Water Distribution Material - Polybutylene

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995. Currently TD and Intact accept polybutylene lines for insurance purposes within a dwelling.

Polybutylene pipe - compression (grip) fitting



Polybutylene pipe - crimp fitting



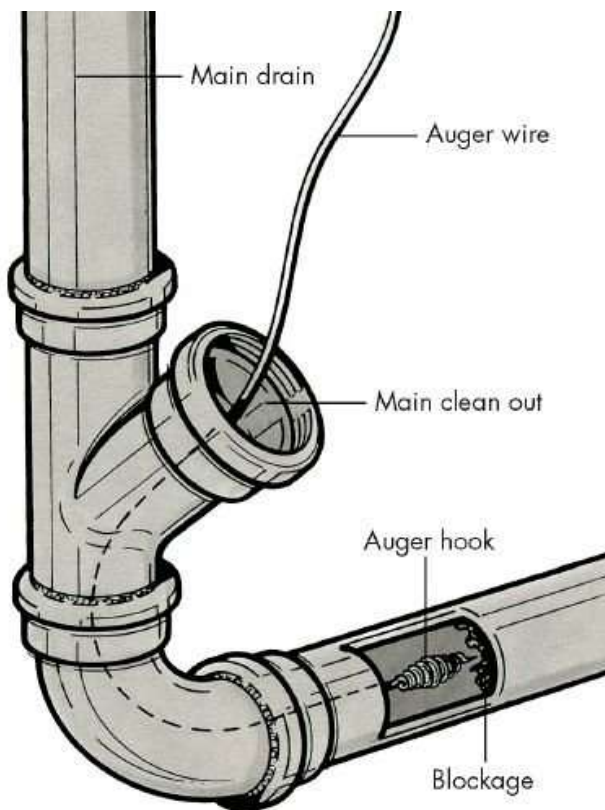
Deficiencies

6.2.1 Drain, Waste, & Vent Systems

 Common / Typical Maintenance Items

CLEAN OUT MISSING

It is recommended to have clean outs for cleaning.



Kitchen

Recommendation

Contact a qualified plumbing contractor.

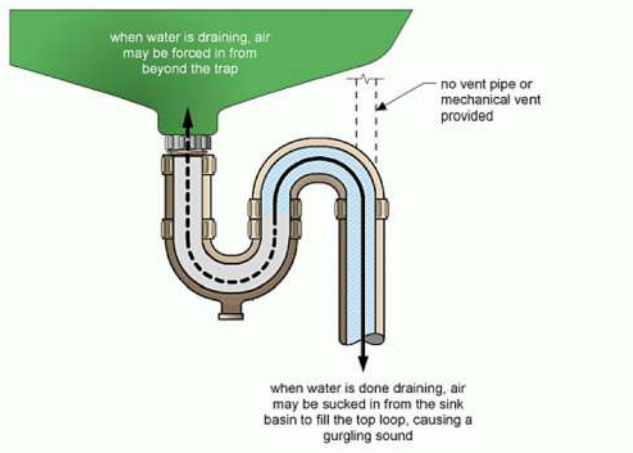
6.2.2 Drain, Waste, & Vent Systems

Common / Typical Maintenance Items

IMPROPER TRAP

It is recommended that fixtures have vented p-traps to prevent siphoning. A qualified plumber should rectify this.

S-traps can lead to siphoning

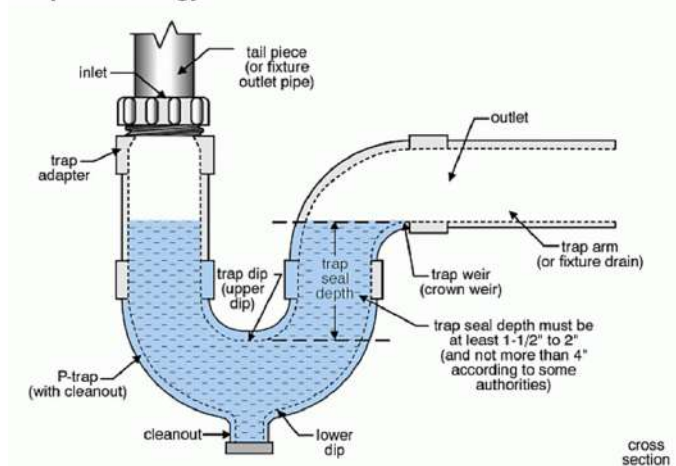


Recommendation
Contact a qualified plumbing contractor.



Primary Bathroom

Trap terminology



6.4.1 Fixtures

Common / Typical Maintenance Items

DAMAGE

Damage was noted at one or more fixtures. It is recommend to repair or replace the affected components.

Recommendation

Contact a qualified plumbing contractor.



Upper Floor Bathroom

6.4.2 Fixtures

LEAK

Improvement Recommendations

One or more leaks were noted during the inspection. It is recommended these be repaired.



Basement Bathroom

6.4.3 Fixtures

SHOWER DIVERTER

Common / Typical Maintenance Items

One or more shower diverters did not function as well as it is intended. Repair or replacement may be needed if increased enjoyment is desired.

Recommendation
Contact a qualified plumbing contractor.





Upper Floor Bathroom

6.4.4 Fixtures

SLOW DRAIN(S)

 Common / Typical Maintenance Items

One or more fixtures were noted to have a slow drain; this should be serviced to provide adequate drainage. Pouring baking soda followed by vinegar may help break up obstructions down hole if debris is the culprit.



Recommendation
Contact a qualified plumbing contractor.



Basement Bathroom

6.16.1 Venting

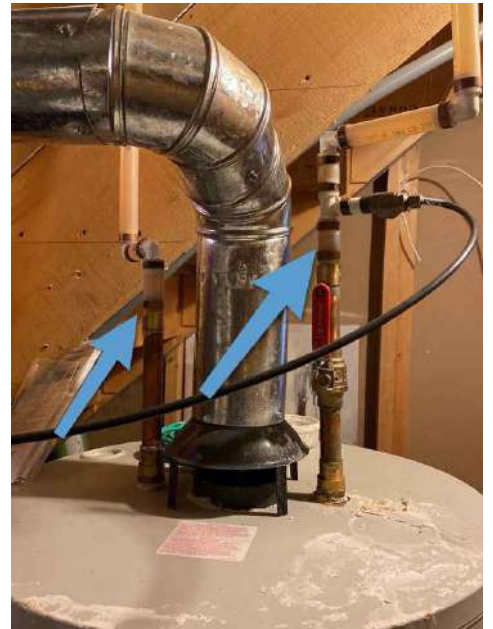
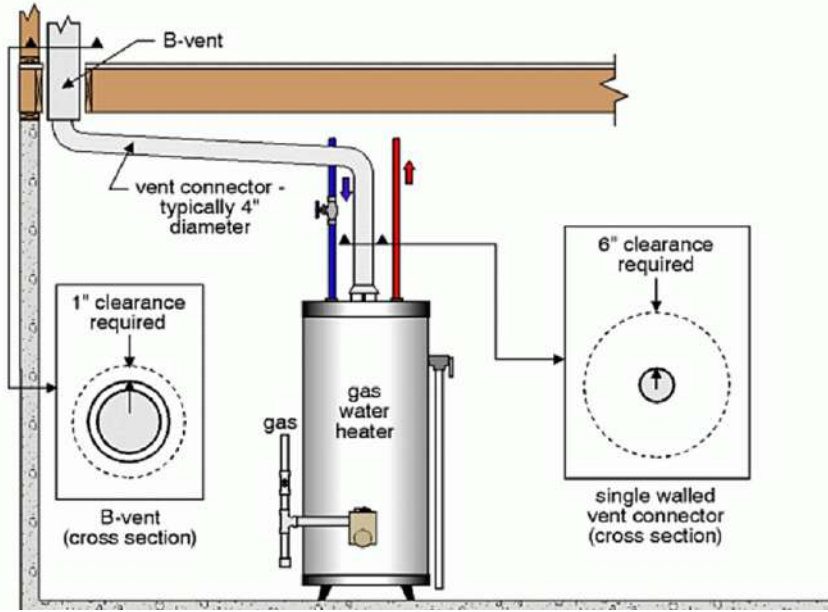
COMBUSTIBLE CLEARANCE

 Common / Typical Maintenance Items

B vent clearance is a minimum of 1" from combustibles while C vents require 6". The clearance was not met in the following area(s). It is recommended that a qualified professional rectify this.

Recommendation
Contact a qualified plumbing contractor.

Vent clearances



6.17.1 Water Heater

 Common / Typical Maintenance Items

WATER MARKS

Water marks were noted at the water heater. It is recommended to inquire about the history of the event.

Recommendation

Contact a qualified plumbing contractor.



6.18.1 Water Supply, Distribution Systems

 Improvement Recommendations

POLYBUTYLENE SUPPLY PIPES

Polybutylene piping was found in the structure. This type of piping was prone to leak at the connection joints. It is recommended that this pipe be monitored for leaks. It is recommended that the potential buyer(s) inquire with the insurance provider to see if this material poses a concern for insuring the structure. This material was typically used between 1985 - 1995. Currently TD and Intact accept polybutylene lines for insurance purposes within a dwelling.

Recommendation

Contact a qualified plumbing contractor.



7: ELECTRICAL

Information

Carbon Monoxide & Smoke Detectors / Alarms: Combination Unit(s)



Main Panelboard: Conductor Material
Copper

Main Panelboard: Overcurrent Protection Device Type
Circuit Breaker

Main Panelboard: Main Disconnect Rating (Overcurrent Protection Device / Breaker)
AMPs
100

Sub Panel: Overcurrent Protection Device Type
Circuit Breaker

Sub Panel: Conductor Material
Copper

Branch Wiring : Wiring Schematic

This is a schematic that explains the various types of copper conductors. It is meant simply for informational purposes. The structure's single strand circuit branch wiring is made of copper.

Common household wire and fuse sizes

14 AWG copper wire



common uses:

most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:

15 amps

10 AWG copper wire



common uses:

electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:

30 amps

12 AWG copper wire



common uses:

some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:

20 amps

8 AWG copper wire



common uses:

electric stoves and ovens

typical fuse/breaker size:

40 amps

Carbon Monoxide & Smoke Detectors / Alarms: Carbon Monoxide Alarms

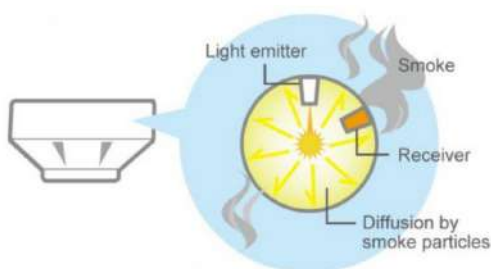
It is recommended to have carbon monoxide alarms on every floor of a structure. These are safety devices which detect a lethal gas that has taken the lives of many unsuspecting individuals. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning appliance such as a furnace, range, water heater, space heater, dryer, or wood stove.

Carbon Monoxide & Smoke Detectors / Alarms: Smoke Alarms

It is recommended to have smoke alarms in every bedroom and floor of a structure.

These units should be tested on a monthly basis with a canister of smoke to ensure they are functioning properly. Batteries should be changed annually at the least.

All the smoke alarms in the structure should be checked to ensure that they are not older than 10 years; as this is the typical life span of the units. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years.



Photoelectric Spot Sensor

GFCI & AFCI: GFI - Bathroom(s)

The Ground Fault Circuit Interrupter (GFCI) receptacles in the bathroom(s) were tested.

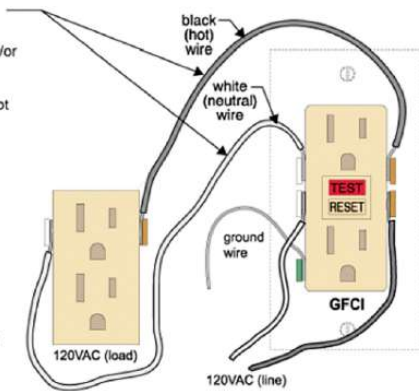
Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

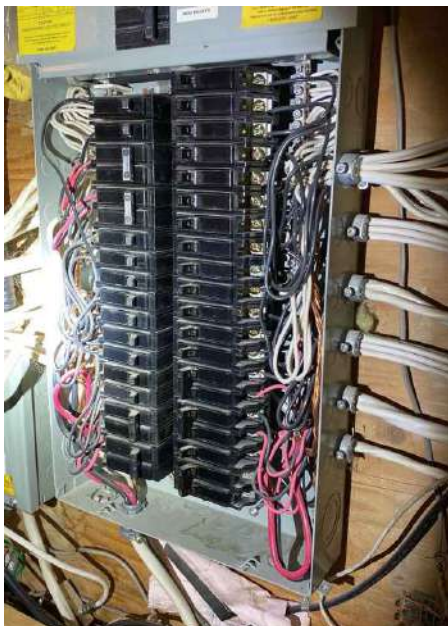
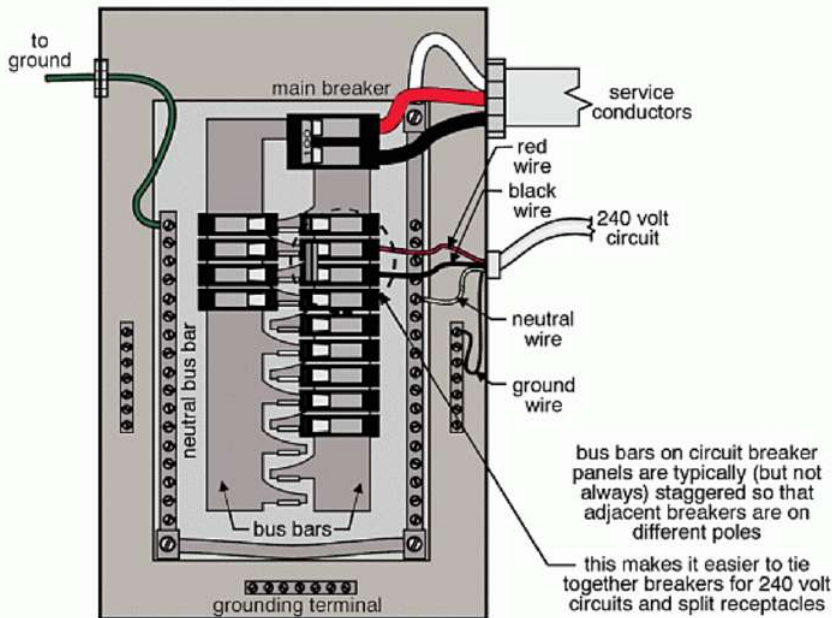
if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



Main Panelboard: Panelboard

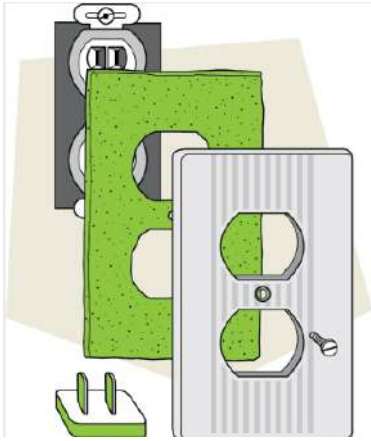
The electrical panel(s) was inspected. It should be noted that home inspectors do not confirm that the electrical panel legend / labels are accurate. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

Staggered bus bars on circuit breaker panels



Outlets: Outlet Gaskets

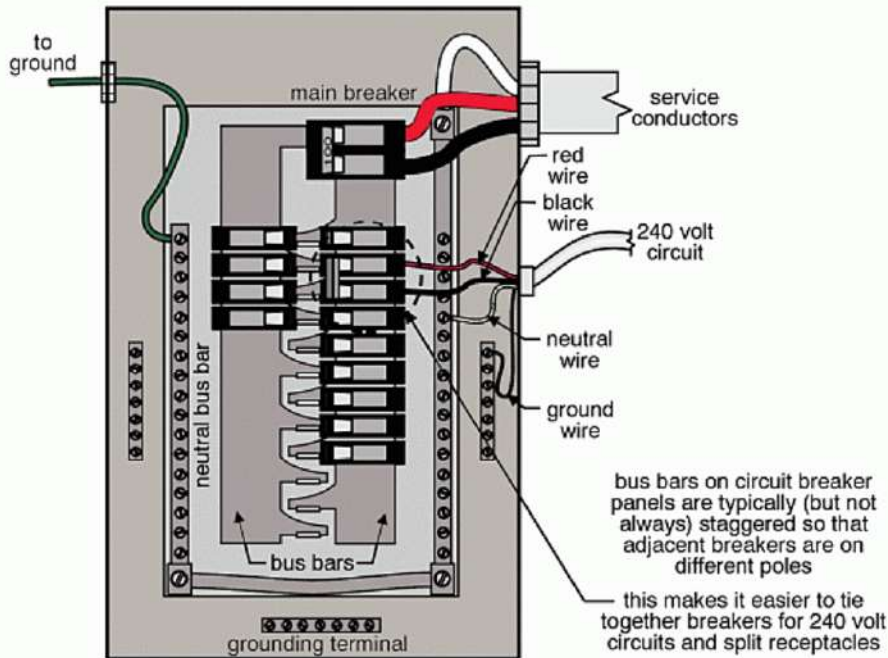
Some structures, particularly older ones, may experience cold drafts from the exterior entering into the structure. Installing gaskets can help reduce discomfort to the occupants and increase the energy efficiency of the structure.



Sub Panel: Panelboard

The electrical panel(s) was inspected. It should be noted that home inspectors do not confirm that the electrical panel legend / labels are accurate. It is always recommended to confirm if an electrical inspection has been completed for any developments or upgrades. It should be noted that it is not the responsibility of the inspector to determine if any permits were obtained for any developments or upgrades. A lack of permits is considered a material latent defect by the Real Estate Council of Alberta.

Staggered bus bars on circuit breaker panels



Deficiencies

7.3.1 Extension Cord Use



Common / Typical Maintenance Items

EXTENSION CORD USE

Extension cords should not be used as a permanent power source.

Recommendation

Contact a qualified electrical contractor.



7.4.1 GFCI & AFCI

 Common / Typical Maintenance Items

NO GFCI PROTECTION INSTALLED - SINKS PRE 2006

While it was a compliant and acceptable installation when first installed, receptacles within 1.5 meters of a sink, bathtub, shower, steam spa, or toilet now require GFCI protection. Should any renovations or changes be made as to move any receptacle from a sink, GFCI protection will be required to be installed. This became a code requirement in 2006.

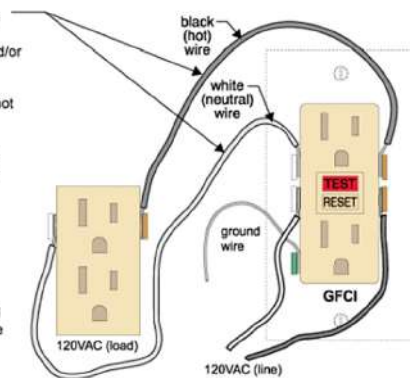
Ground fault circuit interrupter also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks the load (connected downstream and/or plugged into receptacle) constantly for a difference between the current in the hot (live) and neutral wires

if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down to reduce the risk of electric shock



Recommendation

Contact a qualified electrical contractor.



7.6.1 Lighting Fixtures

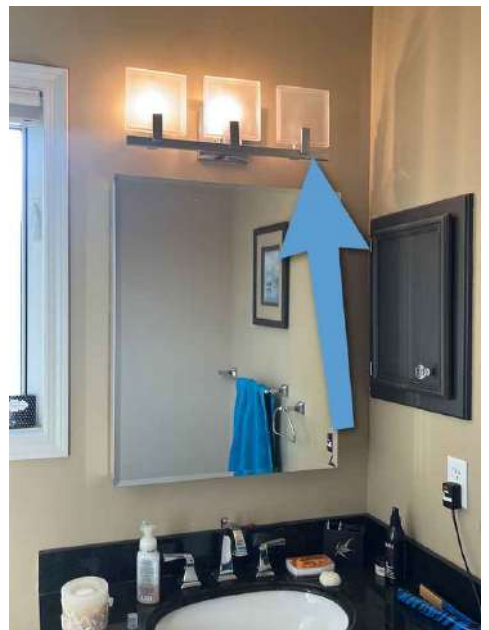
INOPERATIVE

 Common / Typical Maintenance Items

One or more luminaries (lights) were found inoperative. This may be due to burnt bulbs, or could be a wiring / transformer issue, or operator error.

Recommendation

Contact a qualified electrical contractor.



7.7.1 Main Panelboard

WATER MARKS

 Common / Typical Maintenance Items

Water marks were noted in one or more areas of the panelboard. While no active moisture was noted during the inspection, the area should be monitored.

Recommendation

Contact a qualified electrical contractor.



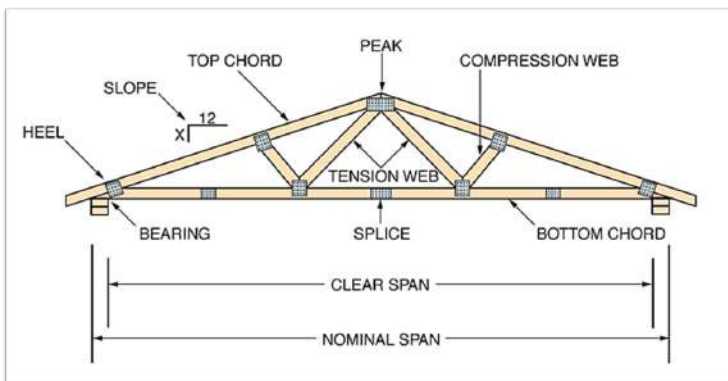
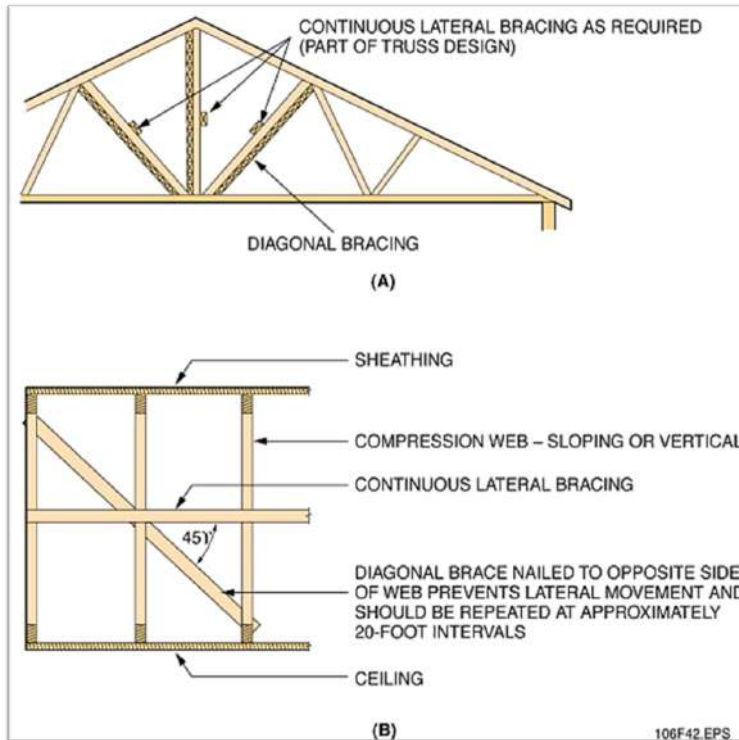
8: STRUCTURAL

Information

Attic & Foundation : Foundation Material	Attic Insulation: Insulation Type
Concrete	Cellulose R 3.6

Attic & Foundation : Trusses

The attic system was inspected. This is a schematic that explains the various components of engineered trusses. It is meant simply for informational purposes.



Attic Insulation: Inches

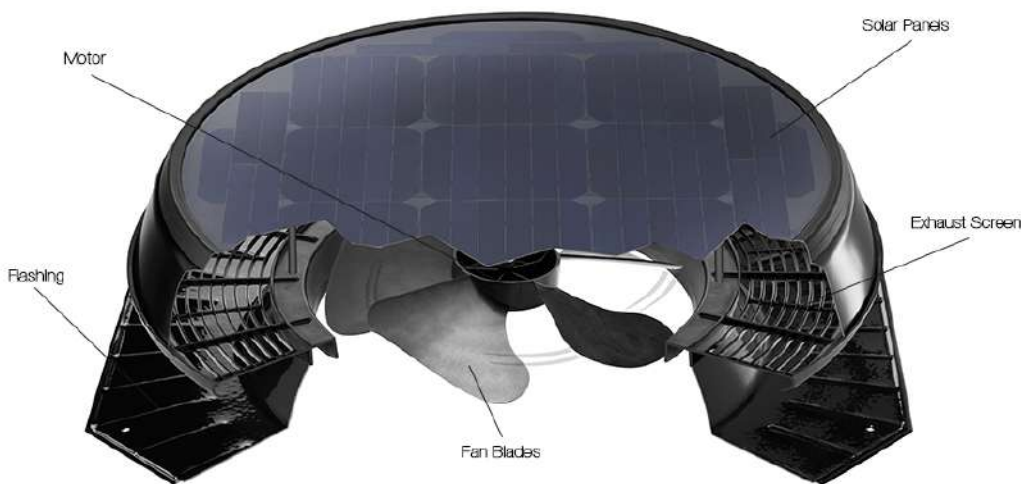
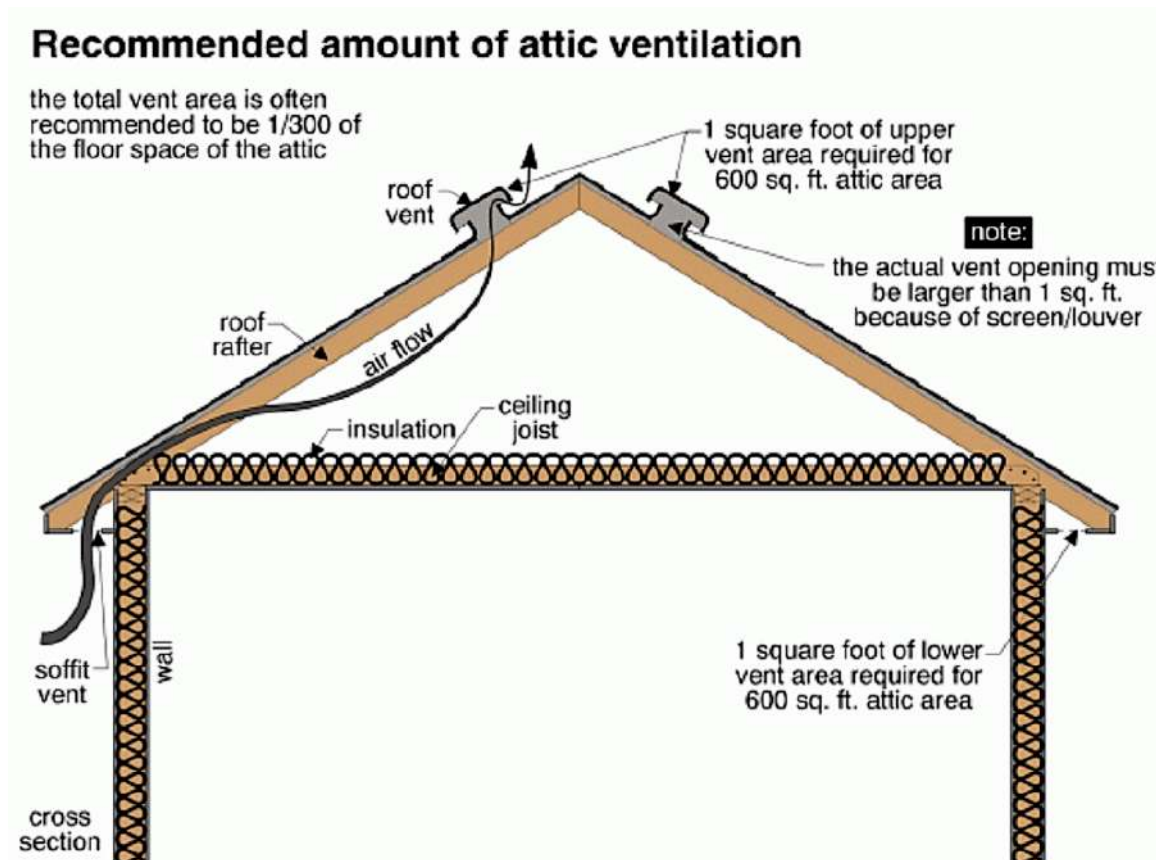
6"

Today's standard is 14-20" of blown fibreglass insulation giving R 50-60. If the building owner(s) note that the snow on their roof melts quicker than their neighbours, or if the temperature in the structure is very cold during the winter months or hot in the summer time, they may need to get a top up of insulation in the attic.



Attic Ventilation: Attic Ventilation

The following is a schematic that explains a conventional attic ventilation system and may not necessarily. Structures built in the last 10 years may not come equipped with soffit venting. We recommend you consider installing photovoltaic (solar powered) exhaust vents to help remove excessive heat from attic spaces during the summer months. It should be noted that not all areas of the roof decking is inspected for water damage or evidence of leaks.



Deficiencies

8.1.1 Attic & Foundation

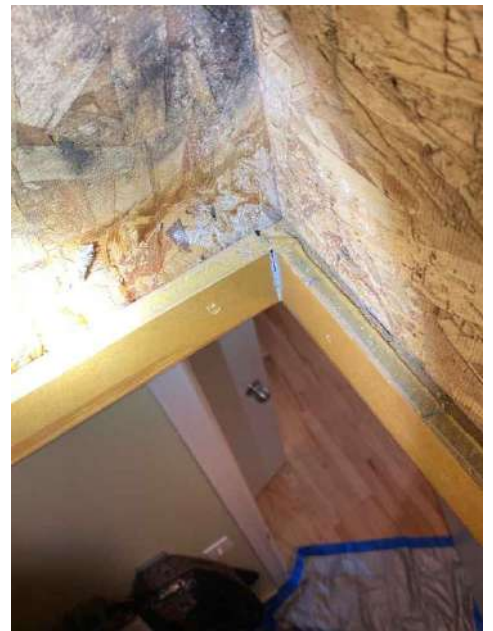
 Common / Typical Maintenance Items

ATTIC HATCH WEATHER STRIPPING DETERIORATED

The weather stripping in the attic hatch should be replaced as it is deteriorating. Weather stripping prevents warm and cold air contacting one another causing condensation (water) which is a precursor to mold development.



Recommendation
Contact a handyman or DIY project



8.2.1 Attic Insulation

 Common / Typical Maintenance Items

AMOUNT LESS THAN CURRENT STANDARDS

The attic was found to have less than today's standard in one or more areas. Today's standards is R 50 - 60. It is recommended to top up the insulation for better energy efficiency.



Recommendation
Contact a qualified insulation contractor.

8.3.1 Attic Ventilation

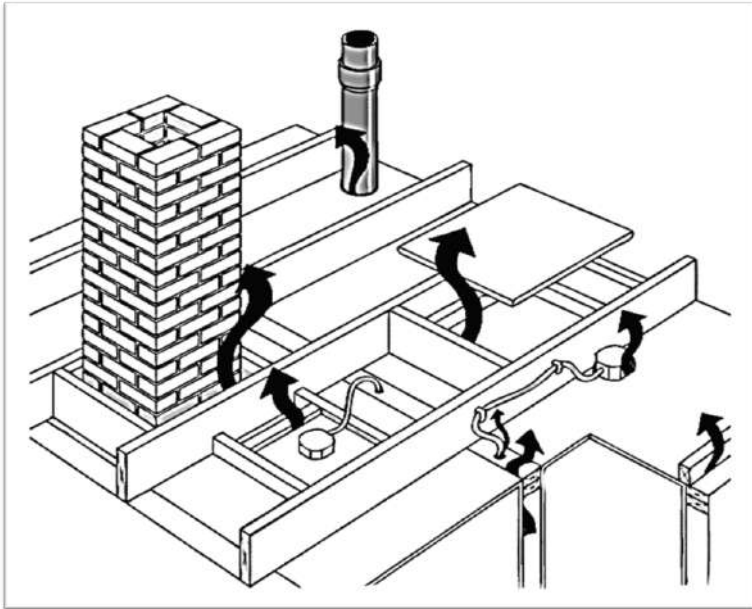
 Common / Typical Maintenance Items

ATTIC RAIN

It appears that "attic rain" may have occurred in the past. This phenomenon occurs when warm, moist air is trapped in the attic space and freezes to the sheathing. When sudden warm periods occur outside, this causes the frost in the attic to thaw potentially damaging the building materials and dripping into the structure.

Recommendation
Contact a qualified roofing professional.





9: BUILDING SCIENCE

Deficiencies

9.1.1 Combustible Insulation

EXPOSED COMBUSTIBLE INSULATION

 Common / Typical Maintenance Items

Styrofoam insulation should be covered by a flame retardant building material as Styrofoam produces lethal fumes when melting.

Recommendation

Contact a qualified carpenter.

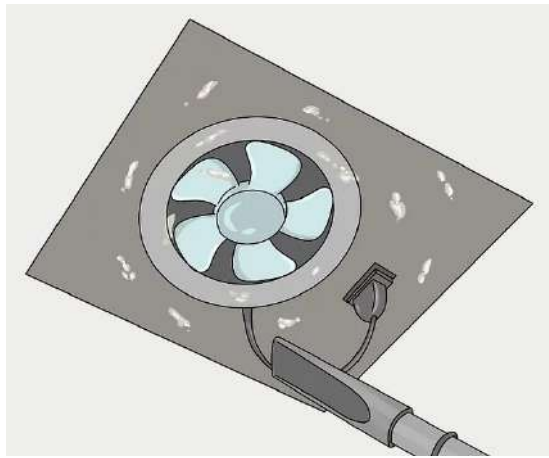
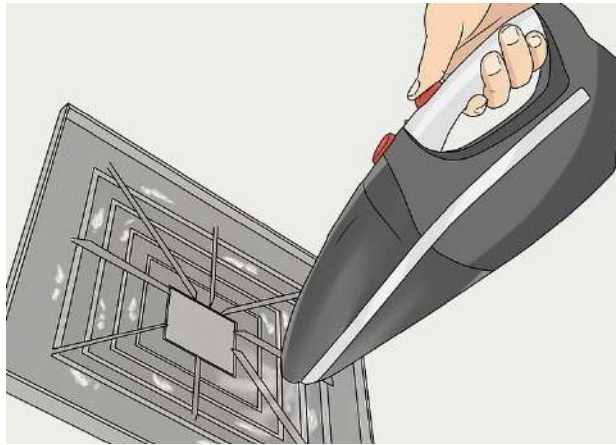


9.2.1 Exhaust Systems

 Common / Typical Maintenance Items

DIRTY EXHAUST FAN COVER(S)

Some of the grills for the exhaust fans were found to be dirty; resulting in a loss of air flow. It is recommended to have these cleaned; using the dishwasher is a simple and quick method.



Recommendation

Contact a handyman or DIY project



Basement Bathroom

9.2.2 Exhaust Systems

 Common / Typical Maintenance Items

TERMINATION POINT NOT FOUND

One or more fan termination points could not be found. This should be further investigated.

Recommendation

Contact a qualified handyman.



Basement Bathroom

10: INTERIOR

Information

Countertops & Cabinets: Inspected



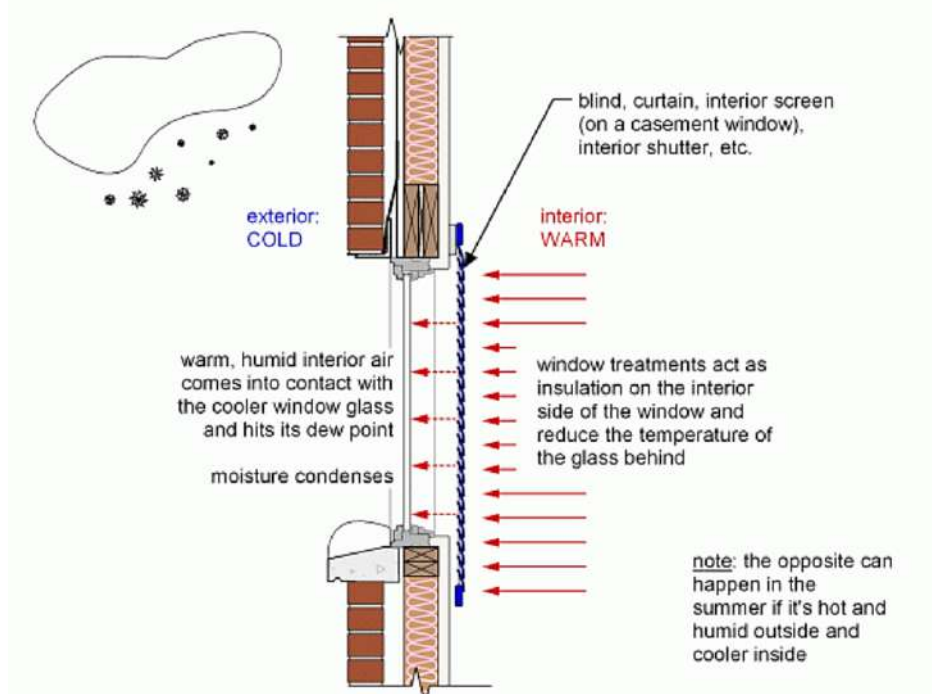
Cosmetics: General Comment

Cosmetics are not part of an inspection. Any cosmetics indicated in the report are provided as a courtesy.

Windows: Windows

No warranties are made for the integrity of the windows, seals, frames, or against water intrusion. It should be noted that windows should be adequately sized for egress purposes (350mm total area obstructions and no dimension less than 15"). In addition, bedrooms should have a chair, table, etc. that allow egress, for especially children and elderly, in case of an emergency. All bars should be removed for egress purposes. It should be noted that adding tinting or foil films to double-glazed windows; voids manufacturer's warranties. Lastly, it is recommended to have air flow during colder seasons to prevent condensation build up. This consists of opening the blinds.

Blinds and shutters can contribute to window condensation



Deficiencies

10.4.1 Doors

 Common / Typical Maintenance Items

ADJUSTMENT NEEDED

One or more doors should be adjusted for smoother operation.



Recommendation
Contact a qualified professional.



10.4.2 Doors

 Common / Typical Maintenance Items

DAMAGE

One or more doors were noted to have damage.

Recommendation

Contact a qualified door repair/installation contractor.

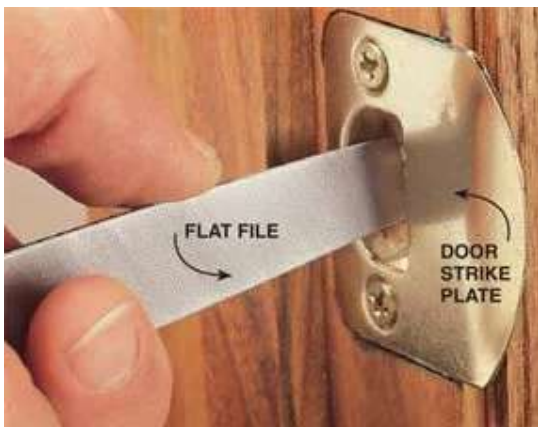


10.4.3 Doors

 Common / Typical Maintenance Items

DOESN'T LATCH

One or more doors did not latch well. A servicing is recommended for smoother operation.



Primary Bedroom

10.4.4 Doors

 Common / Typical Maintenance Items

**DOORBELL
INOPERATIVE**

The inspector was unable to function the doorbell. Proper operation should be inquired or a possible servicing is needed.

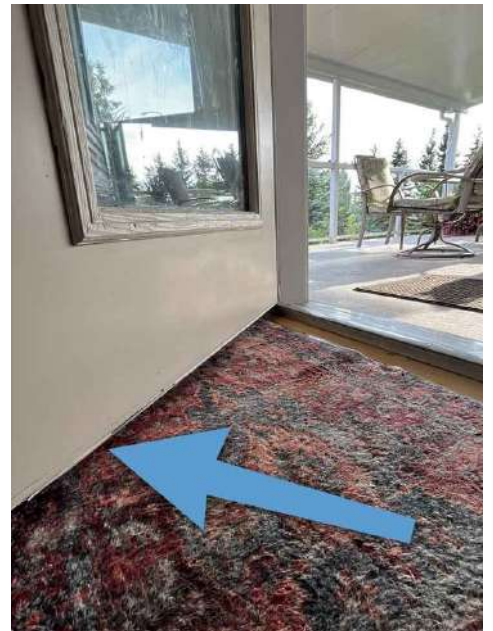


10.4.5 Doors

DOOR SWEEP(S)

 Common / Typical Maintenance Items

One or more door sweeps should be replaced as they are beyond the service life. These help keep the outside weather from entering the building.



Recommendation

Contact a qualified door repair/installation contractor.

10.4.6 Doors

**WEATHERSTRIPPING
INADEQUATE**

 Common / Typical Maintenance Items

It is recommended to install new weather stripping at the following exterior doors. Weather stripping helps to the seal against the weather.

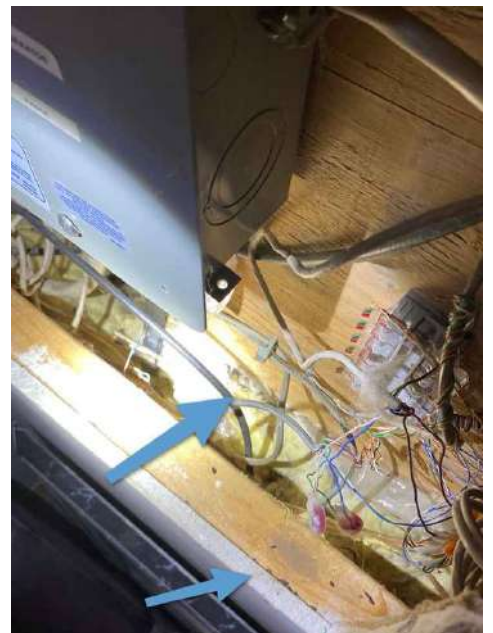
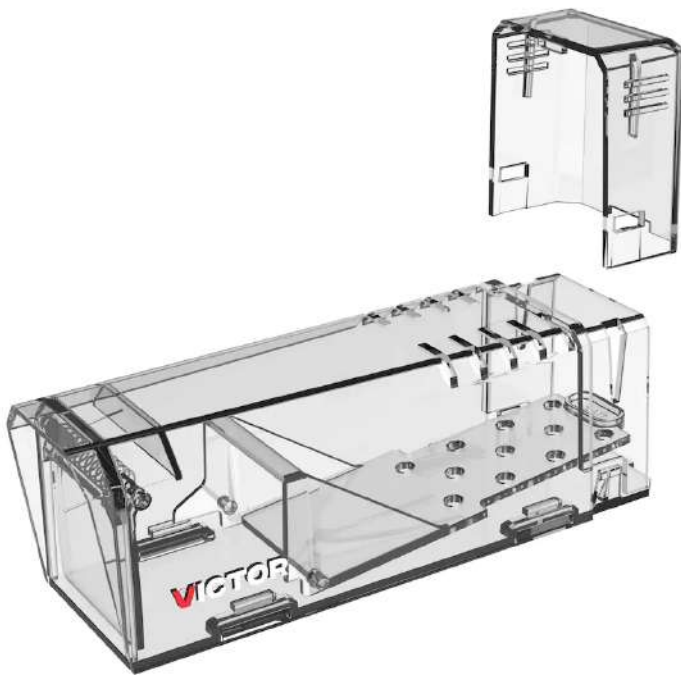


10.9.1 Rodents / Vermin

 Common / Typical Maintenance Items

EVIDENCE OF RODENTS / VERMIN

Evidence of pests were noted in the structure. It is recommended to inquire on the history of any events.



Recommendation
Contact a qualified professional.

10.15.1 Water Marks / Damage

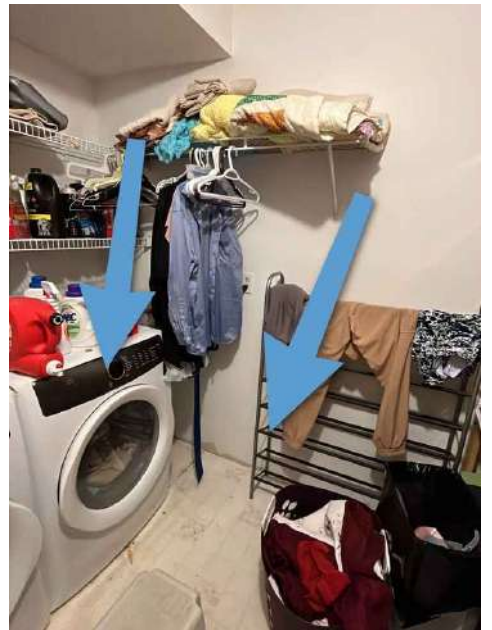
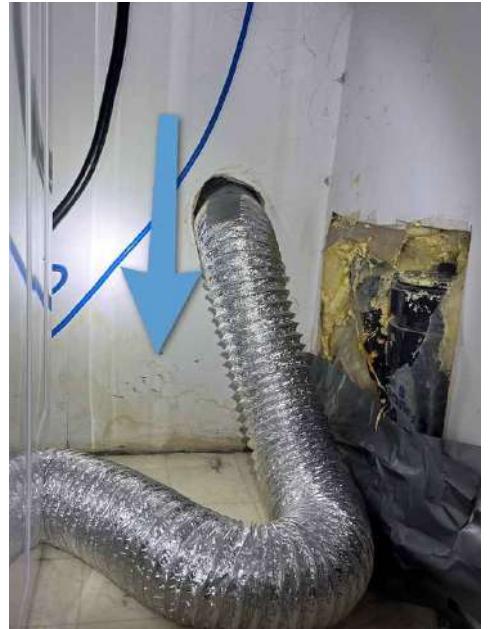
 Common / Typical Maintenance Items

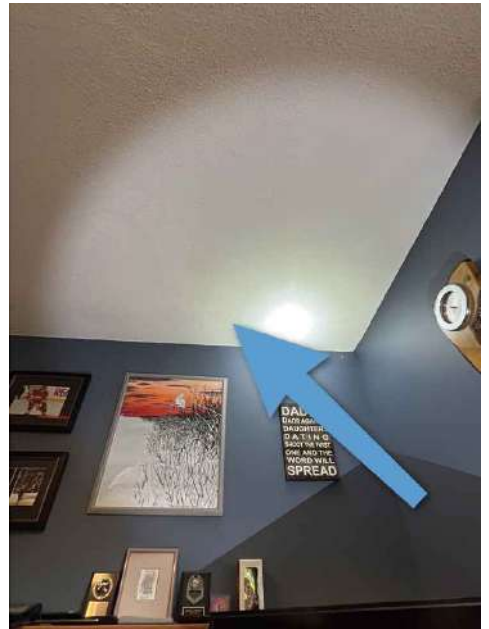
WATER MARKS

Water marks were noted in one or more areas. It is recommended to inquire on the history of the event(s).

Recommendation

Contact a qualified professional.





10.16.1 Windows

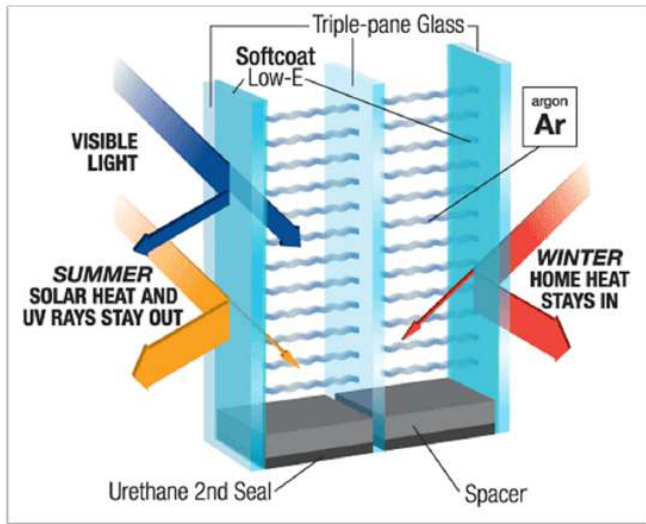
SEAL / GLAZING FAILURE

 Improvement Recommendations

One or more windows in the structure exhibited a failed seal or glazing. Although often considered a cosmetic issue, mold and wood rot may be a side product in the future.

Recommendation

Contact a qualified window repair/installation contractor.



11: BUILT-IN APPLIANCES

Information

**Range/Oven/Cooktop: Range /
Oven / Cooktop**

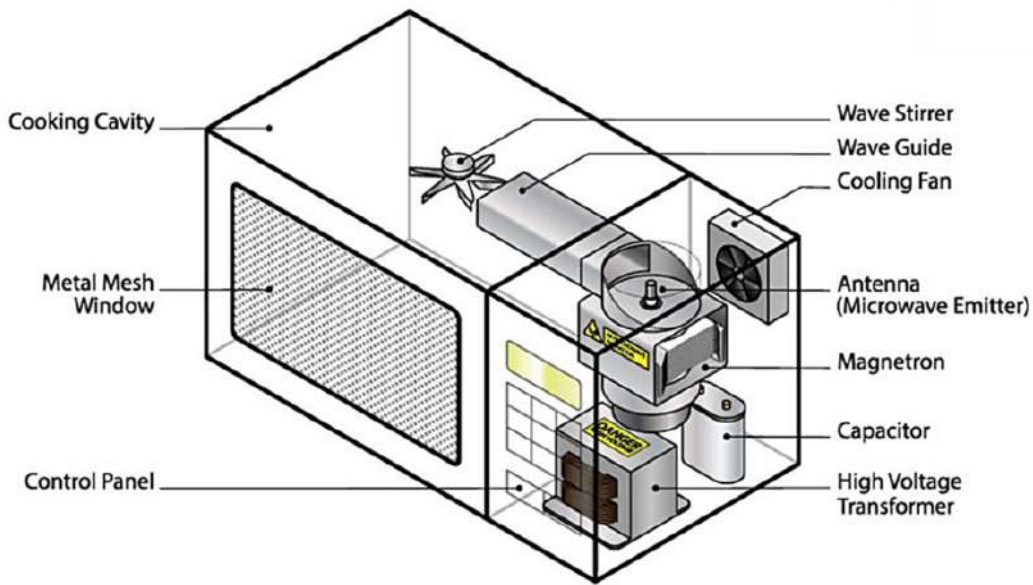
The cooking appliances were tested.

**Appliances**

No warranties are given by the inspector on appliances within the structure as they can fail at any time. No testing of water hook ups to appliances including: water dispensers or ice makers connected to the refrigerators is done. It is recommended that the potential buyer(s) look up the serial numbers of the appliances in the structure to ensure no recalls have been made for the units.

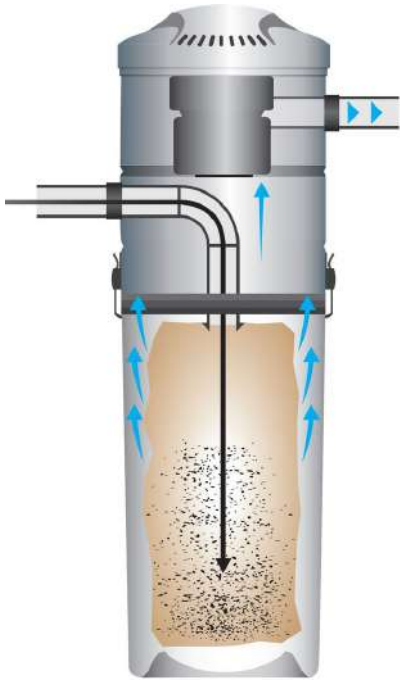
Built-in Microwave: Microwave

The microwave was tested and functioned well. It is recommended to replace or clean the unit filters every 6 months.



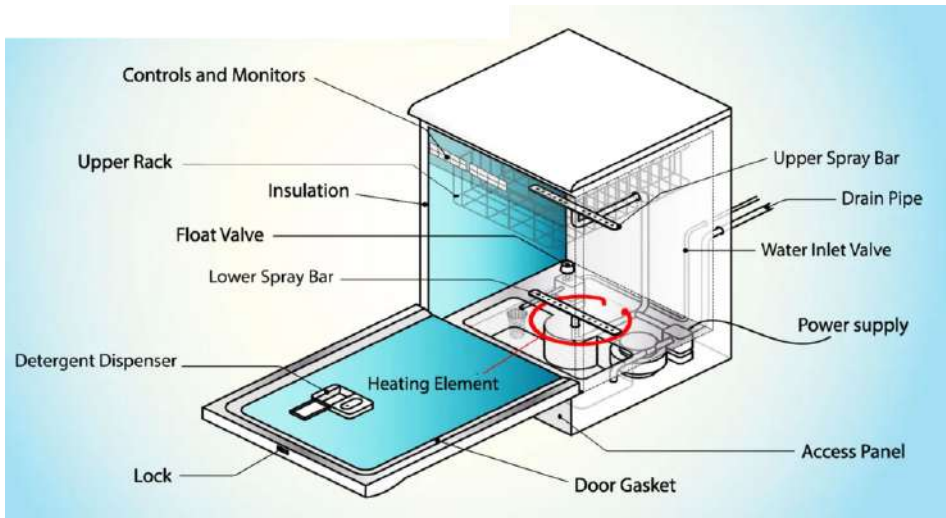
Central Vacuum: Tested

The central vac system was inspected. The canister should be emptied every few months. A random sample of intake ports were tested and functioned well. It should be noted that the inspector did not insert any attachments into the receptacles.



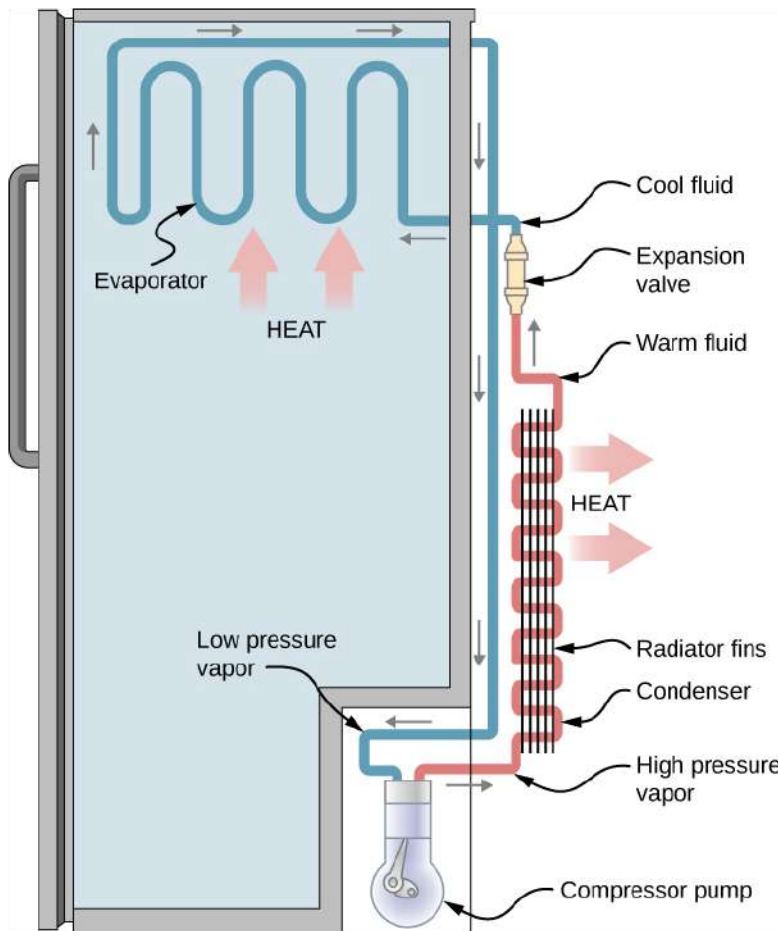
Dishwasher: Dishwasher

The dishwasher(s) was tested on a rinse cycle. A catch pan is recommended to be installed below the appliance along with a water-leak alarm.



Refrigerator: Refrigerator

The perishable food cooling appliance system was inspected. If equipped; water filters should be replaced every 6 months or as per manufacturer's specifications. It is recommended to have steel braided lines for the water connection as standard pex lines are prone to leaking.



Washer / Dryer: Laundry System

The laundry system was tested on short cycles. It is recommended to leave the door open of front load washing machines after cycles to remove the excess moisture to prevent mold growth. A catch pan is recommended to be installed below the washing machine along with a water-leak alarm. Lastly, it is recommended to use steel braided supply water lines replaced every 5 years.



Deficiencies

11.2.1 Central Vacuum



DAMAGED / LOOSE PORT

One or more ports were noted to be loose or damaged.

Recommendation

Contact a qualified appliance repair professional.

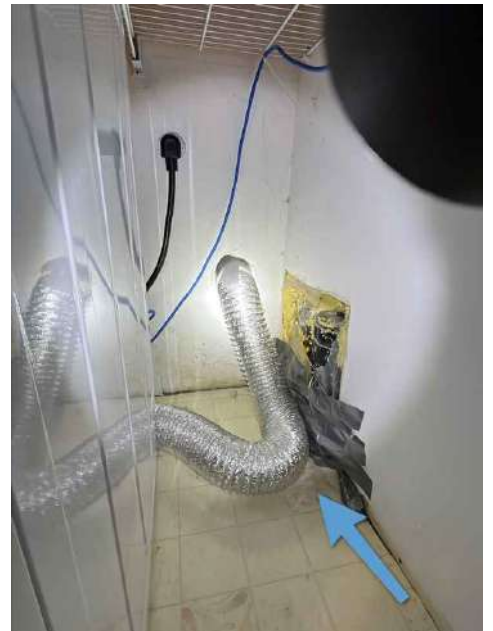


11.9.1 Washer / Dryer

 Common / Typical Maintenance Items

DRYER VENT - CORRUGATED LINE

It is recommended to use smooth metal vent lines rather than corrugated ones as the lint may get stuck to the corrugations.



Recommendation

Contact a qualified professional.

11.9.2 Washer / Dryer

 Improvement Recommendations

WASHER LEAK

A leak was noted at the washer. A service is recommended.

Recommendation

Contact a qualified appliance repair professional.



12: END OF REPORT

Information

Your Review Helps Certa Immeasurably

Thank you again for allowing our Team to help you in your property buying process, we truly appreciate the honor. We hope that you were satisfied with the quality of service from our Team. In our highly competitive industry, online reviews make a huge difference to small businesses like Certa. If you feel that your inspection was worthy of a 5-star review it would be greatly appreciated if you spent 30 seconds leaving our Team one by clicking [HERE](#). If we fell short of your expectation; please email us your feedback so that we can continue improving our level of service.

Thank you very much for your help in us reaching our Mission, Vision, and Values!



Certa Services and Team Members

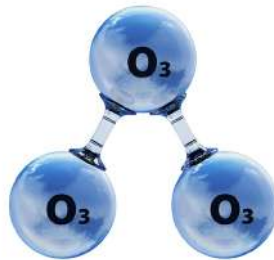
We are looking to grow our team for the following roles: Business Development Representative, Home Inspector. Let us know if you have someone in mind and we do have a \$500 referral bonus if we hire them!

Additional Services Offered by Certa:

Sewer Camera Inspections: We are PACP certified and have performed hundreds of sewer line inspections throughout Alberta. We strongly recommend having sewer lines inspected to ensure no grease or root blockages, line deformities/collapse, and/or poor slope that could be a potential threat.



(Ozone) Odour Removal: Utilizing ozone generating machines, we offer a highly effective odour removal service to get rid of unpleasant smells caused by cooking, tobacco, pets, and even stale "aged" home smells.



WETT Inspections: Often an insurance requirement, we are certified to perform Level 1 WETT Inspections to confirm that the installation of wood burning fireplaces and stoves have been completed as per the manufacturer's requirements and the latest Building and Fire Code.



Air Quality, Mold & Asbestos Testing: Certa is certified to perform both mold and asbestos testing to ensure that properties are safe to be occupied. Floods, unplanned water releases, and leaks can cause mold growth in some buildings while others have been built with asbestos which is a known carcinogen.



Commercial Property Inspections: Our trained inspectors perform commercial inspections ranging from multi-family structures such as apartment units, mixed use residential and commercial units, stand-alone commercial buildings, and industrial structures.

